

# INSPECTION REPORT



For the Property at:

CHATSWORTH, CA 91311

Prepared for: . . .

Inspection Date: Friday, June 9, 2017

Prepared by: Quality Care Home Inspections



Quality Care Home Inspections & Retrofitting  
1030 East Avenue South, Suite 18  
Palmdale, CA 93550  
(818) 987-1847

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)  
qualitycarehomeinspections@gmail.com



February 3, 2018

Dear . . ,

RE: Report No. 1117, v.2

Chatsworth, CA  
91311

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Quality Care Home Inspections  
on behalf of  
Quality Care Home Inspections & Retrofitting

Quality Care Home Inspections &  
Retrofitting  
1030 East Avenue South, Suite 18  
Palmdale, CA 93550  
(818) 987-1847  
[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)  
qualitycarehomeinspections@gmail.com

# AGREEMENT

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

## PARTIES TO THE AGREEMENT

### Company

Quality Care Home Inspections &  
Retrofitting  
1030 East Avenue South, Suite 18  
Palmdale, CA 93550

### Client

..

This is an agreement between . . and Quality Care Home Inspections & Retrofitting.

**THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY.  
PLEASE READ CAREFULLY BEFORE SIGNING.**

In addition to the limitations in the Standards of Practice, the Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. The Inspection is performed in accordance with the Standards of Practice of our national association.

## LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

### 1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

### 2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

# AGREEMENT

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

## 3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

## 4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

## 5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

## 6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

## 7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

# AGREEMENT

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

## 8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the inspection fee will apply.

## 9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the fitness of the property.

## 10) LIMIT OF LIABILITY / LIQUIDATED DAMAGES

The liability of the Home Inspector and the Home Inspection Company arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection.

I, . . (Signature) \_\_\_\_\_, (Date) \_\_\_\_\_, have read, understood and accepted the terms of this agreement.

**Note:** For the purpose of this report the building is considered to be facing **West**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

## Exterior

### ROOF DRAINAGE \ Flat roof drains

**Condition:** • [Clogged](#)

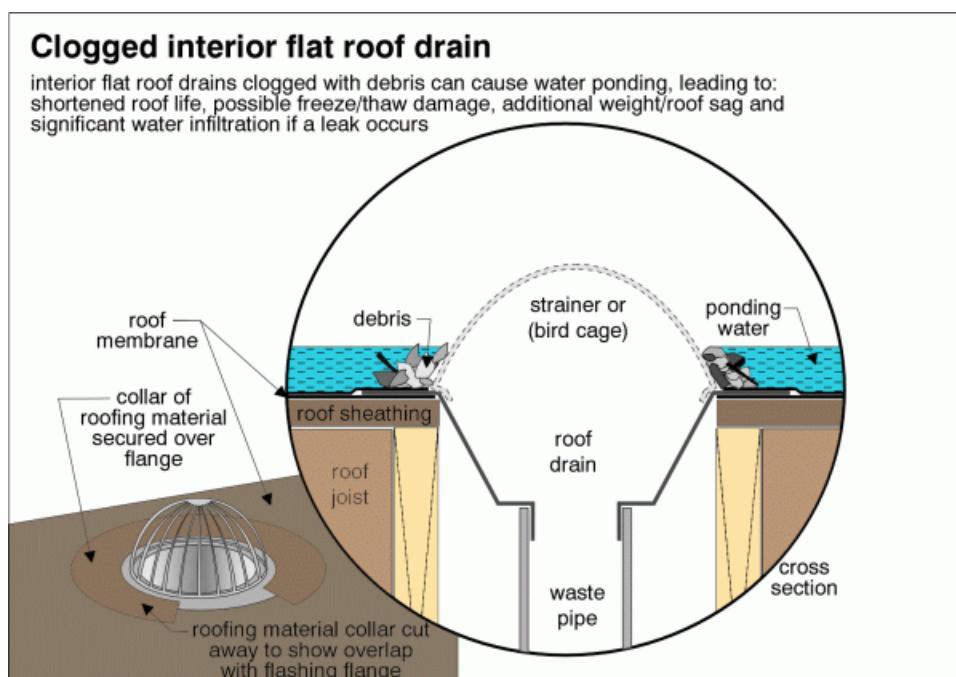
Debris noted to surface drains. Recommend cleaning, removal of debris for proper and adequate drainage.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** North Second Floor Patio

**Task:** Clean

**Time:** Regular maintenance



# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



1. Clogged



2. Clogged

## WALLS \ Soffits and fascia

**Condition:** • [Rot or insect damage](#)

Signs of deterioration, dry rot, possible insect damage was noted. Recommend further evaluation by a licensed specialist.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Various Exterior

**Task:** Repair or replace

**Time:** Immediate

# SUMMARY

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

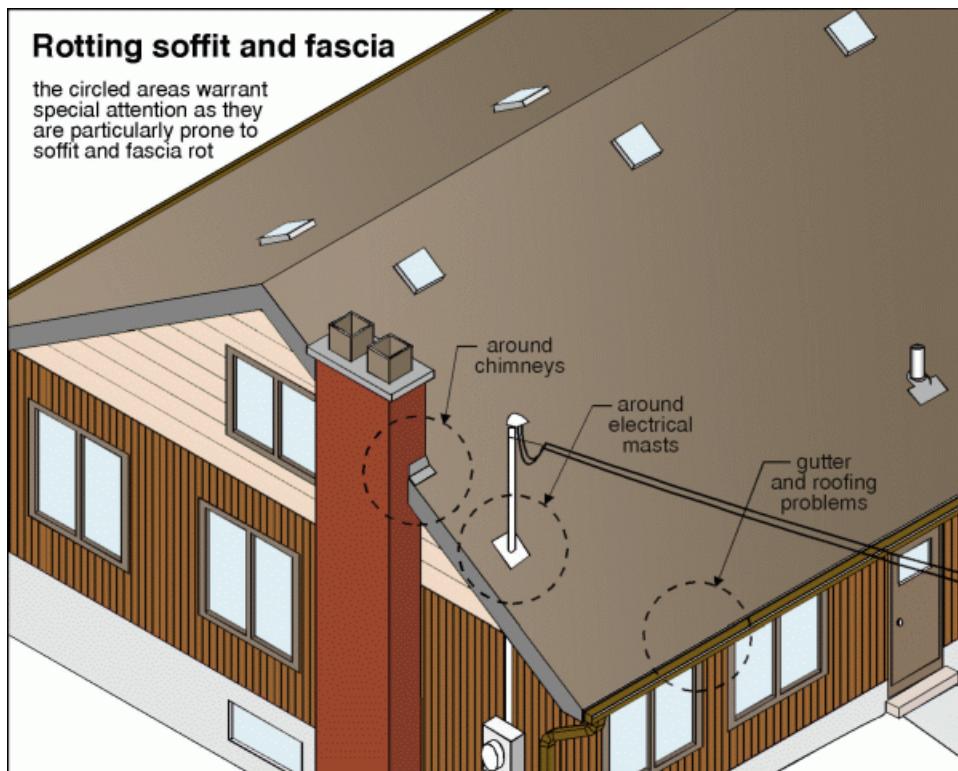
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



# SUMMARY

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



5. Rot or insect damage



6. Rot or insect damage



7. Rot or insect damage



8. Rot or insect damage

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



9. Rot or insect damage



10. Rot or insect damage



11. Rot or insect damage



12. Rot or insect damage

## WALLS \ Trim

**Condition:** • [Rot or insect damage](#)

Exterior trim was observed and evidence of deterioration, dry rot, possible insect damage was noted.

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Various Exterior Wall

**Task:** Repair or replace

**Time:** Immediate



13. Rot or insect damage

## WALLS \ Wood siding

**Condition:** • [Rot or insect damage](#)

Signs of deterioration due to moisture, possible insect damage was noted. Recommend further evaluation by a licensed specialist.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Various Exterior Wall

**Task:** Repair or replace

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



14. Rot or insect damage



15. Rot or insect damage

## EXTERIOR GLASS/WINDOWS \ Frames

**Condition:** • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to window wood trim. A licensed specialist is recommended to further evaluate.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Various Exterior Wall

**Task:** Repair or replace

**Time:** Immediate



16. Rot or insect damage



17. Rot or insect damage

# SUMMARY

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



18. Rot or insect damage



19. Rot or insect damage



20. Rot or insect damage



21. Rot or insect damage

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



22. Rot or insect damage

## DOORS \ Doors and frames

**Condition:** • [Rot or insect damage](#)

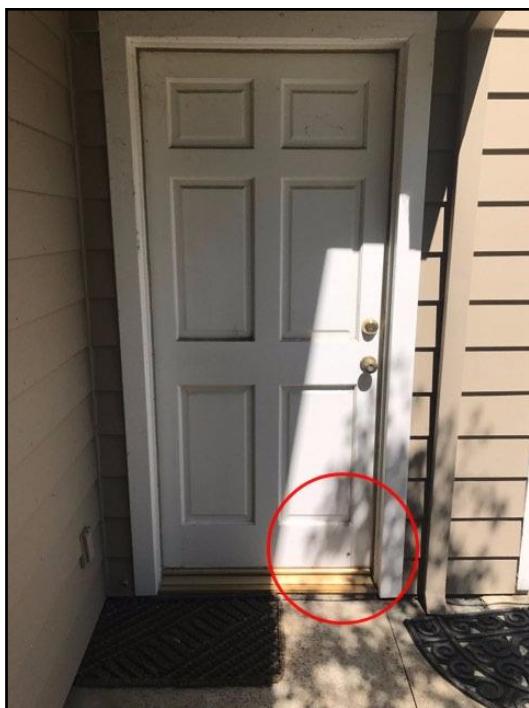
Signs of deterioration, possible insect damage was noted to door.

**Implication(s):** Chance of damage to finishes and structure

**Location:** North Exterior

**Task:** Repair or replace

**Time:** Immediate



23. Rot or insect damage



24. Rot or insect damage

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Condition: • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to door frame.

**Implication(s):** Chance of damage to finishes and structure

**Location:** East Exterior

**Task:** Repair or replace

**Time:** Immediate



25. Rot or insect damage



26. Rot or insect damage

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

### Condition: • [Rot](#)

Rot and/or insect damage noted. Wood to soil contact.

**Implication(s):** Weakened structure

**Location:** East Exterior Patio

**Task:** Repair or replace

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



27. Rot

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

**Condition:** • [Rot or insect damage](#)

Signs of deterioration, rot noted. Recommend further evaluation by a licensed specialist.

**Implication(s):** Fall hazard

**Location:** North 2nd Floor Exterior Patio

**Task:** Repair or replace

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



28. Rot or insect damage

## LANDSCAPING \ Lot grading

**Condition:** • [Improper slope or drainage](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Various Exterior

**Task:** Improve

**Time:** Immediate

# SUMMARY

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

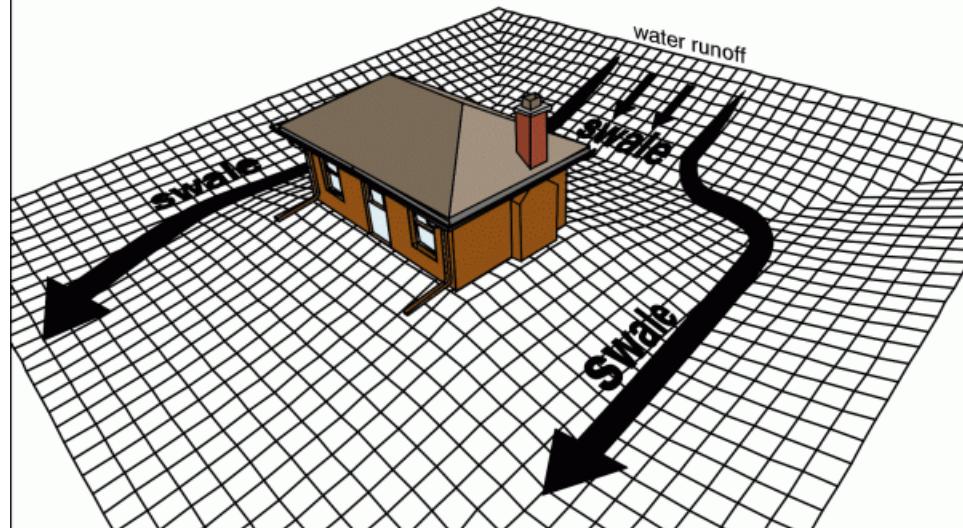
REFERENCE

## Recommended grading slopes



## Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



29. Improper slope or drainage



30. Improper slope or drainage



31. Improper slope or drainage



32. Improper slope or drainage



33. Improper slope or drainage

## Structure

### FOUNDATIONS \ General

**Condition:** • Cracked

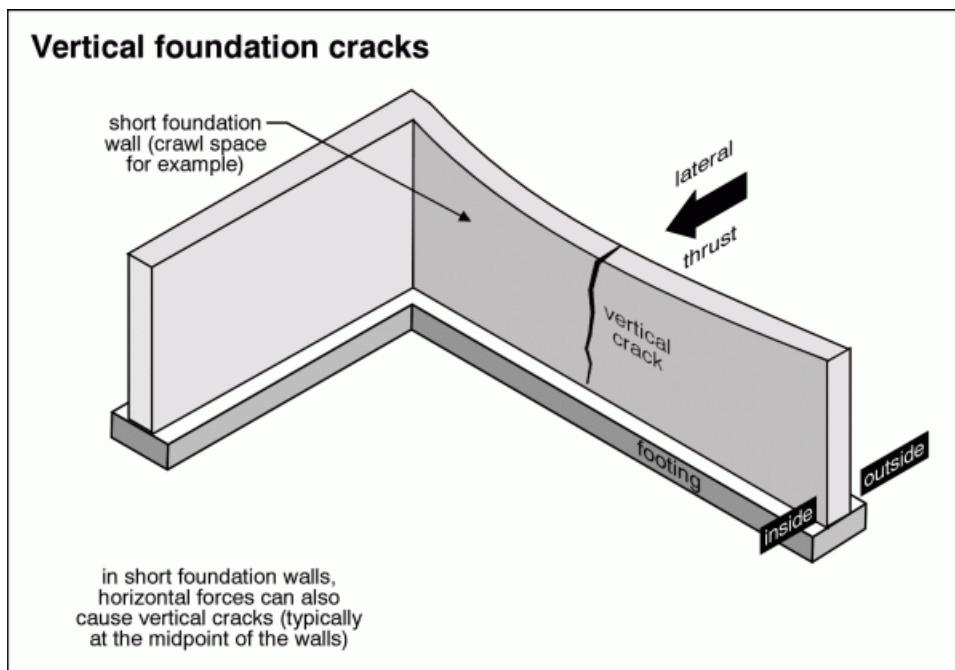
Signs of cracks were noted to foundation. A licensed specialist may be recommended to further evaluate.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Weakened structure

**Location:** West Exterior

**Task:** Further evaluation

**Time:** Immediate



# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



34. Cracked



35. Cracked

**Condition:** • Cracked

Chipped concrete noted to foundation. Recommend further evaluation by a licensed professional.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Weakened structure

**Location:** South Exterior

**Task:** Further evaluation

**Time:** Immediate



36. Cracked

## ROOF FRAMING \ Beams

**Condition:** • Rot

Signs of deterioration, rot, possible insect damage noted. Recommend further evaluation by a licensed specialist.

**Implication(s):** Chance of movement | Material deterioration

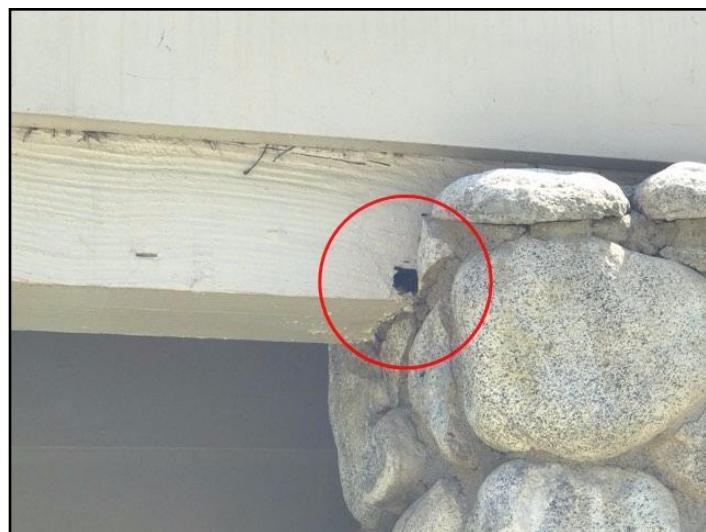
**Location:** South Exterior

**Task:** Repair or replace

**Time:** Immediate



37. Rot



38. Rot

## Electrical

### DISTRIBUTION SYSTEM \ Junction boxes

**Condition:** • Missing, loose

Loose junction box noted. Recommend properly securing and/or replacement. A licensed electrical specialist may be recommended to further evaluate.

**Implication(s):** Electric shock | Fire hazard

**Location:** Southeast Pool / Spa

**Task:** Correct

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

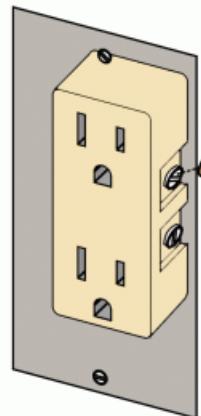
INSULATION

PLUMBING

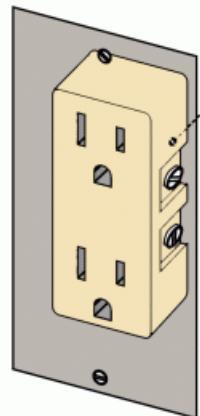
INTERIOR

REFERENCE

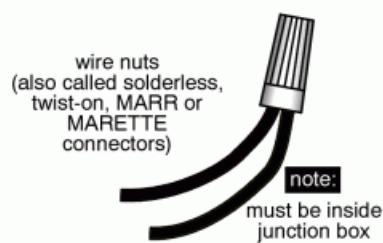
## Types of connections



screw terminals



push-in terminals  
(also called bayonet or  
dagger connections)



wire nuts  
(also called solderless,  
twist-on, MARR or  
MARETTE  
connectors)

note:  
must be inside  
junction box

spliced, soldered and  
wrapped with electrical tape  
- commonly found with knob  
and tube wiring

note:  
not in junction  
boxes (older  
work only)



39. Missing, loose

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • Inoperative

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Non functional outlet was noted. A licensed electrical specialist may be recommended to further evaluate.

**Implication(s):** Equipment inoperative

**Location:** Kitchen

**Task:** Repair or replace

**Time:** Immediate



40. *Inoperative*

**Condition:** • Ungrounded

Outlet was functional at the time of the inspection, however, bad ground was noted. Test faulty on GFCI due to bad ground. A licensed electrical specialist may be recommended to further evaluate and estimate cost for repairs.

**Implication(s):** Electric shock

**Location:** Kitchen

**Task:** Repair or replace

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



41. Ungrounded

## DISTRIBUTION SYSTEM \ Cover plates

**Condition:** • Missing

Missing cover plate(s) noted. Recommend installing cover plates to prevent injuries from electrical shock.

**Implication(s):** Electric shock

**Location:** Garage

**Task:** Provide

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



42. Missing



43. Missing

## DISTRIBUTION SYSTEM \ Lights

**Condition:** • Loose

Loose surface mount lights noted. Recommend repairs.

**Implication(s):** Electric shock | Fire hazard

**Location:** Various Exterior Wall

**Task:** Repair

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



44. Loose



45. Loose

## DISTRIBUTION SYSTEM \ Smoke detectors

**Condition:** • Inoperative

Non functional smoke alarm noted. Recommend repairs and/or replacement.

**Implication(s):** Fire hazard

**Location:** Second Floor Hall

**Task:** Replace

**Time:** Immediate



46. Inoperative

## Cooling & Heat Pump

### AIR CONDITIONING \ Condensate system

**Condition:** • [Pan overflowing](#)

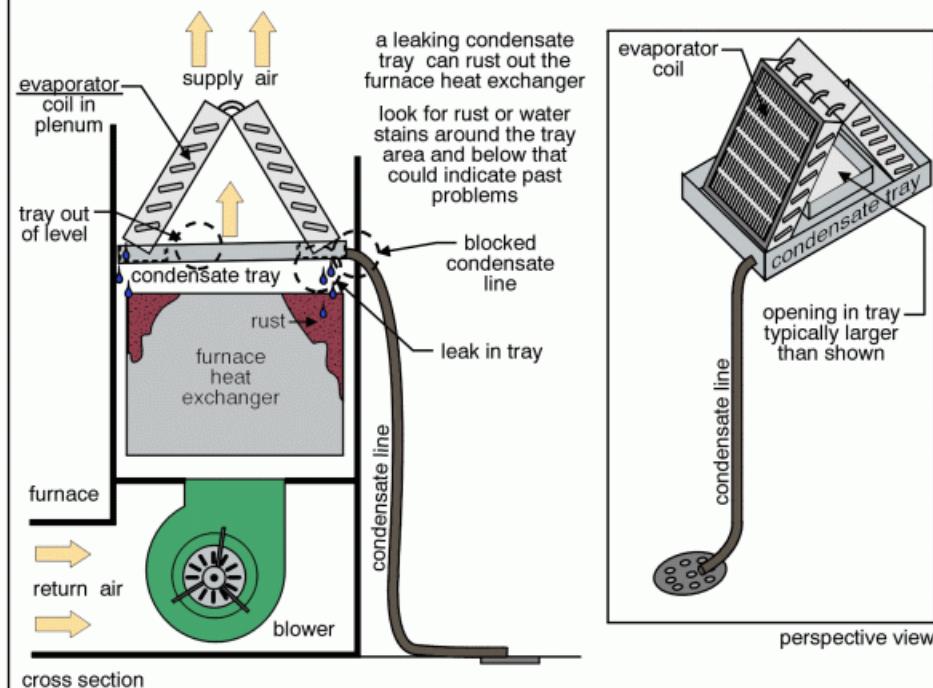
Water pooling was noted at drip pan. Signs of poor drainage at condensation drain pipes. A licensed HVAC specialist is recommended to further evaluate.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Damage to equipment

**Location:** Attic

**Task:** Further evaluation

**Time:** Immediate

**Leaking condensate tray****47. Pan overflowing****AIR CONDITIONING \ Refrigerant lines****Condition:** • Insulation - missing

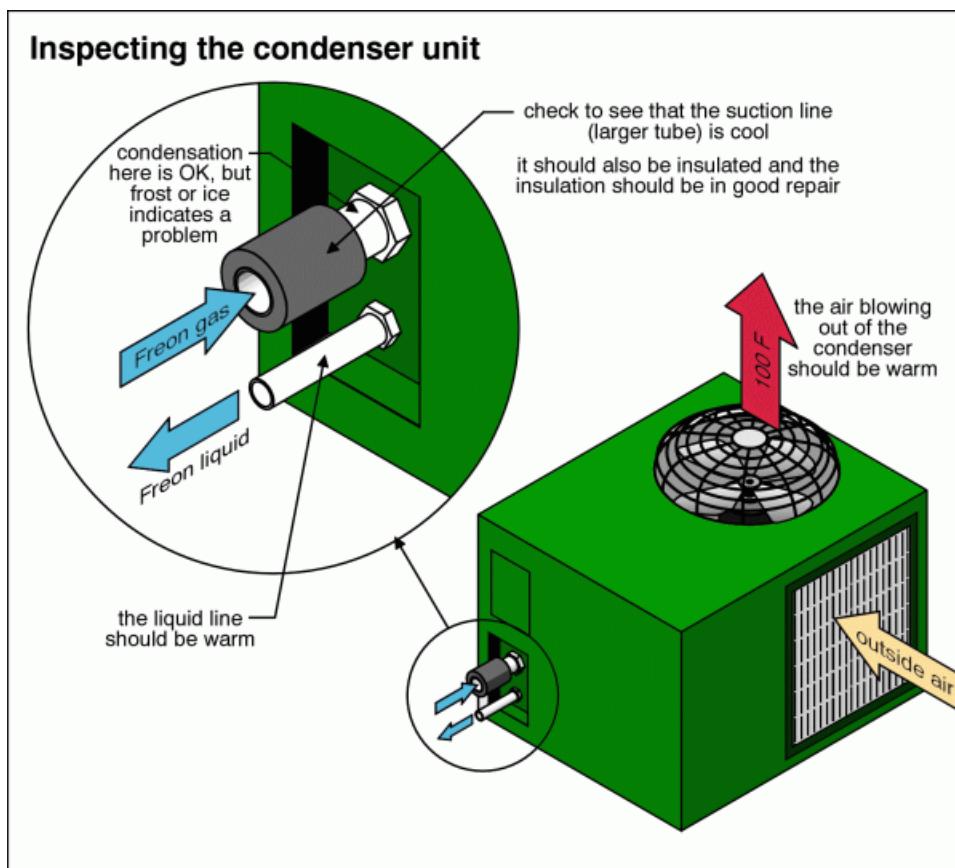
Missing insulation noted. Recommend installing insulation to prevent lines from freeze.

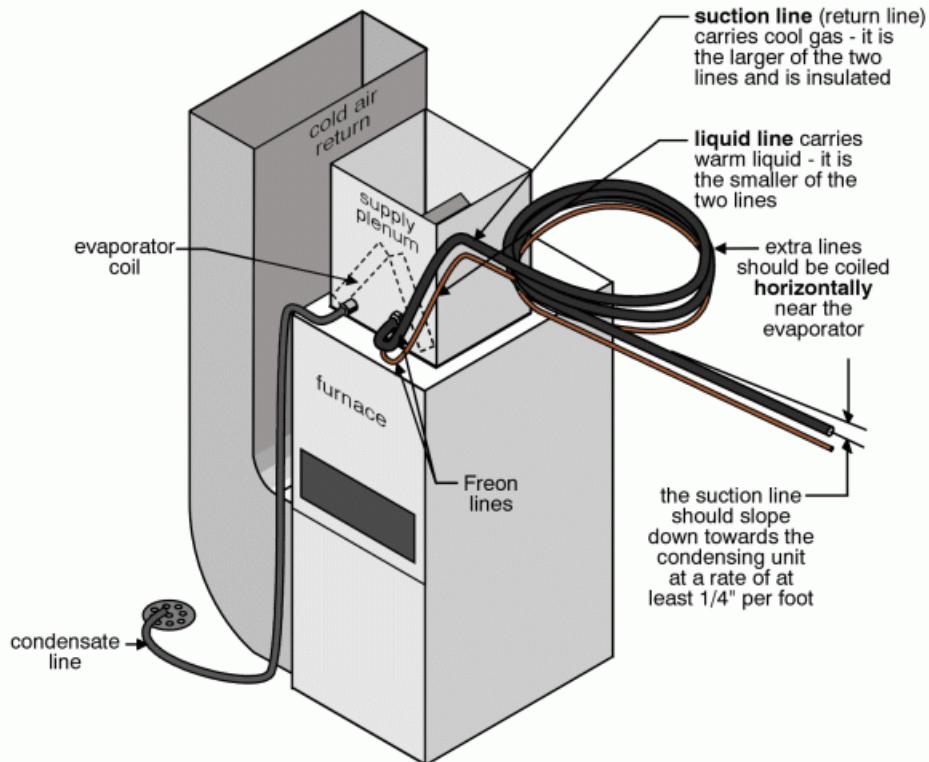
**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Location:** North Exterior

**Task:** Provide

**Time:** When necessary



**Refrigerant lines**

48. Insulation - missing



49. Insulation - missing

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Plumbing

### FIXTURES AND FAUCETS \ Faucet

**Condition:** • Loose

Loose faucet noted.

**Implication(s):** Equipment failure

**Location:** First Floor Hallway Bathroom

**Task:** Repair or replace

**Time:** Immediate



50. Loose

### FIXTURES AND FAUCETS \ Shower stall

**Condition:** • Cracked class noted. Recommend repairs and/or replacement.

**Location:** Second Floor Master Bathroom

**Task:** Replace

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

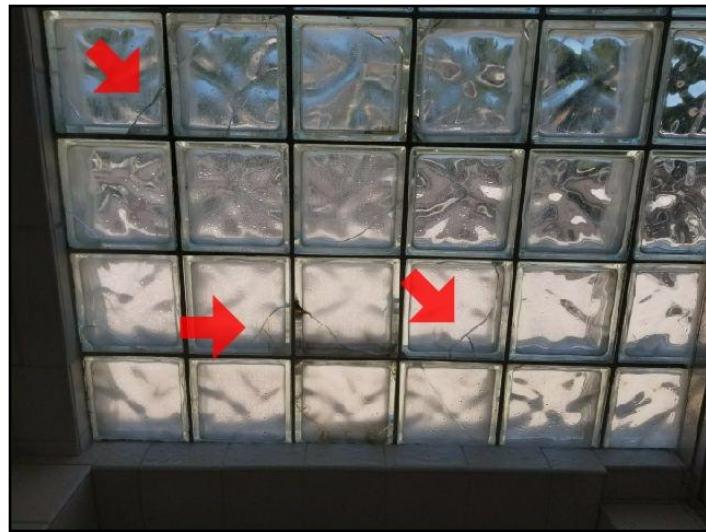
PLUMBING

INTERIOR

REFERENCE



51.



52.

## Condition: • Grout loose, missing or deteriorated

Signs of missing caulking/grout noted. Suggest tub/shower edges, tiles be caulked and sealed to prevent moisture penetration. All missing, deteriorated/damaged caulking, grouting should be replaced, Failure to keep tub shower edges sealed can potentially cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of the inspection.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Second Floor Hallway Bathroom

**Task:** Repair

**Time:** Immediate



53. Grout loose, missing or deteriorated



54. Grout loose, missing or deteriorated

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Condition: • Grout loose, missing or deteriorated

Signs of missing caulking/grout noted. Suggest tub/shower edges, tiles be caulked and sealed to prevent moisture penetration. All missing, deteriorated/damaged caulking, grouting should be replaced, Failure to keep tub shower edges sealed can potentially cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of the inspection.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** First Floor Hallway Bathroom

**Task:** Repair

**Time:** Immediate



55. Grout loose, missing or deteriorated

## POOL / SPA / HOT TUB \ General

### Condition: • Surrounding deck/concrete cracked

Cracks were noted to concrete pool deck. Recommend sealing cracks to prevent from further expansion. If requested, a licensed specialist may be recommended to further evaluate.

**Implication(s):** Material deterioration | Equipment not operating properly | Physical injury

**Location:** Pool / Spa

**Task:** Further evaluation

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



56. Surrounding deck/concrete cracked



57. Surrounding deck/concrete cracked



58. Surrounding deck/concrete cracked



59. Surrounding deck/concrete cracked

## POOL / SPA / HOT TUB \ Mechanical

Condition: • Pump leaking

Leak noted at pool pump. A licensed pool specialist is recommended to further evaluate.

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

**Implication(s):** Reduced operability

**Location:** Pool / Spa

**Task:** Repair

**Time:** Immediate



60. Pump leaking



61. Pump leaking

## Interior

### CEILINGS \ General

**Condition:** • Stains

Signs of water/moisture stains were noted to ceiling. Recommend monitoring. A licensed specialist may be recommended to further evaluate.

**Location:** Second Floor Bedroom

**Task:** Further evaluation, Seller disclose

**Time:** Immediate

# SUMMARY

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



62. Stains

**Condition:**

- Water stains

Ceiling was observed and evidence of deterioration/bubbling surface was noted. A licensed specialist may be recommended to further evaluate.

**Location:** Second Floor Bedroom

**Task:** Further evaluation, Seller disclose

**Time:** Immediate



63. Water stains



64. Water stains

# SUMMARY

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



65. Water stains

**Condition:** • Water stains

Signs of water stains, deterioration was noted. Recommend further evaluation by a licensed specialist. Recommend seller disclose.

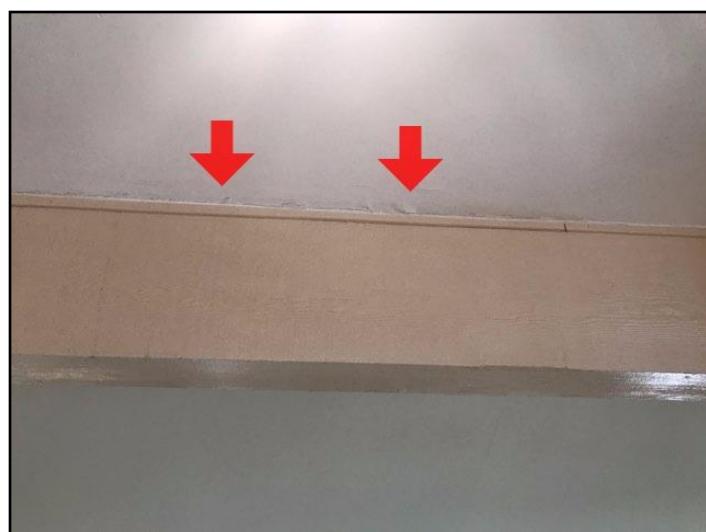
**Location:** Second Floor Staircase, Living room

**Task:** Further evaluation

**Time:** Immediate



66. Water stains



67. Water stains

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

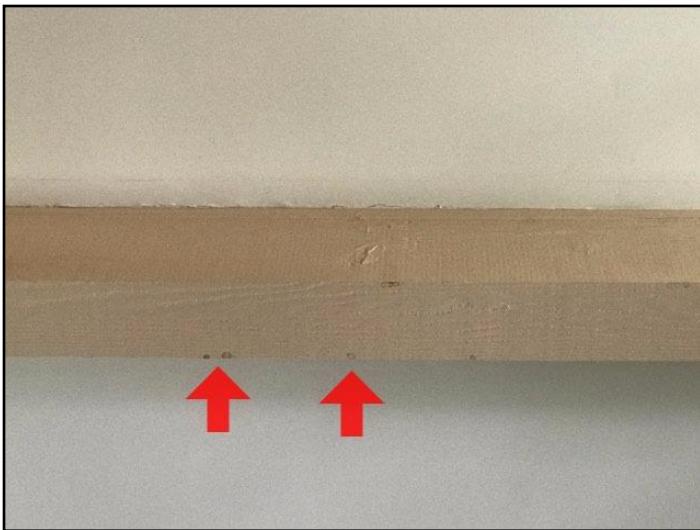
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



68. Water stains



69. Water stains

**Condition:** • Water stains

Signs of water stains was noted to ceiling. Master bathroom at 2nd floor is above the area where the moisture stains were noted. Recommend further evaluation by a licensed specialist. Recommend seller disclose.

**Location:** Garage

**Task:** Monitor Request disclosure

**Time:** Immediate



70. Water stains

# SUMMARY

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

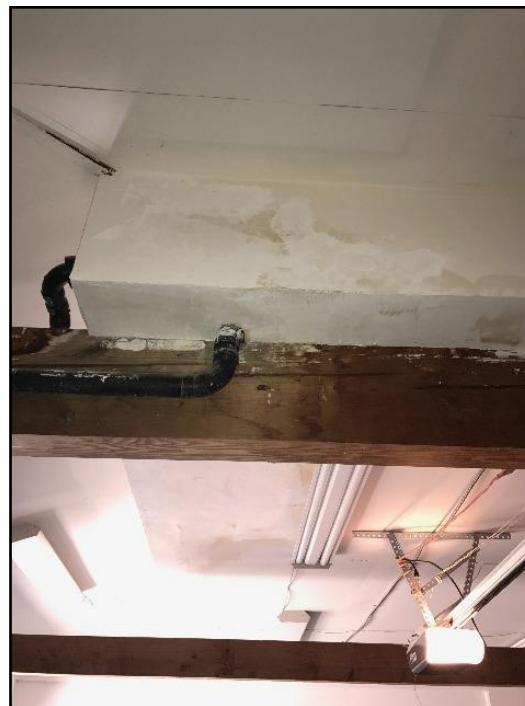
PLUMBING

INTERIOR

REFERENCE



71. Water stains

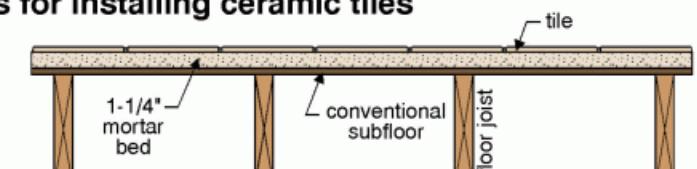
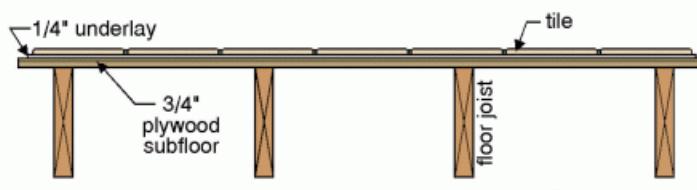
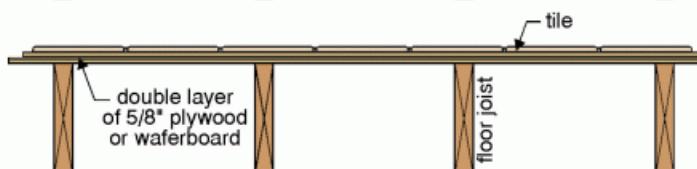
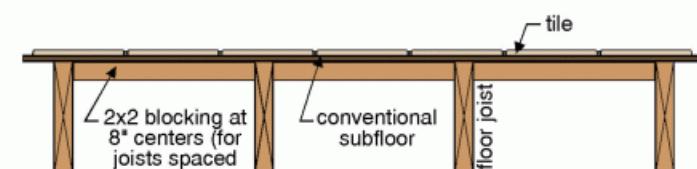
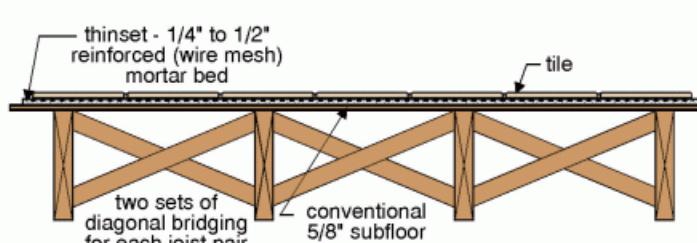


72. Water stains

## FLOORS \ Ceramic tile, stone, marble, etc

Condition: • [Tiles cracked](#)

Cracked tiles noted

**Implication(s):** Trip or fall hazard**Location:** Second Floor Hallway Bathroom**Task:** Repair or replace**Time:** Immediate**Alternatives for installing ceramic tiles****(A)****(B)****(C)****(D)****(E)**

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

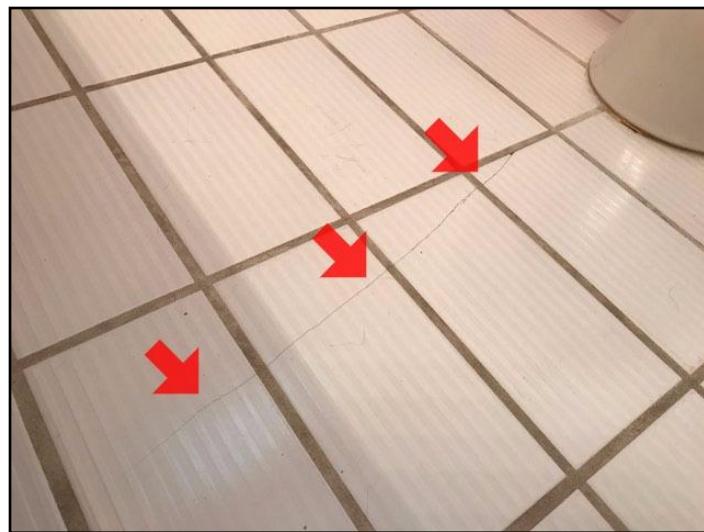
COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



73. Tiles cracked

## WINDOWS \ General

**Condition:** • Difficult to operate

Difficult to operate. Hard operation was noted to window. Recommend repairs for ease of operation.

**Implication(s):** System inoperative or difficult to operate

**Location:** Various First Floor Kitchen

**Task:** Improve, Correct

**Time:** Immediate



74. Difficult to operate

## WINDOWS \ Frames

**Condition:** • Gaps noted. Recommended sealing and/or caulking.

**Location:** First Floor Living Room

**Task:** Correct

**Time:** Immediate



75.



76.

**WINDOWS \ Hardware****Condition:** • Inoperative

Inoperable windows noted. Recommend repairs for ease of operation.

**Implication(s):** System inoperative or difficult to operate**Location:** First Floor Living Room**Task:** Repair or replace**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



77. Inoperative

**Condition:** • [Inoperative](#)

Inoperative windows noted. Recommend repairs for ease of operation.

**Implication(s):** System inoperative or difficult to operate

**Location:** Bedrooms

**Task:** Repair, Further evaluation

**Time:** Immediate

# SUMMARY

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



78. Inoperative



79. Inoperative



80. Inoperative



81. Inoperative

## DOORS \ Doors and frames

**Condition:** • Does not latch properly

Door locking mechanism was not fully functional. Locking mechanism does not latch. Recommend repairs.

**Implication(s):** System inoperative or difficult to operate

**Location:** Second Floor Hallway Bathroom

**Task:** Repair

**Time:** Immediate



82. Does not latch properly

## CARPENTRY \ Countertops

**Condition:** • [Grout loose or missing](#)

Missing grout noted. Recommend repairs to prevent deterioration to cabinet or walls from water moisture intrusion.

**Implication(s):** Hygiene issue

**Location:** Second Floor Master Bathroom

**Task:** Provide

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

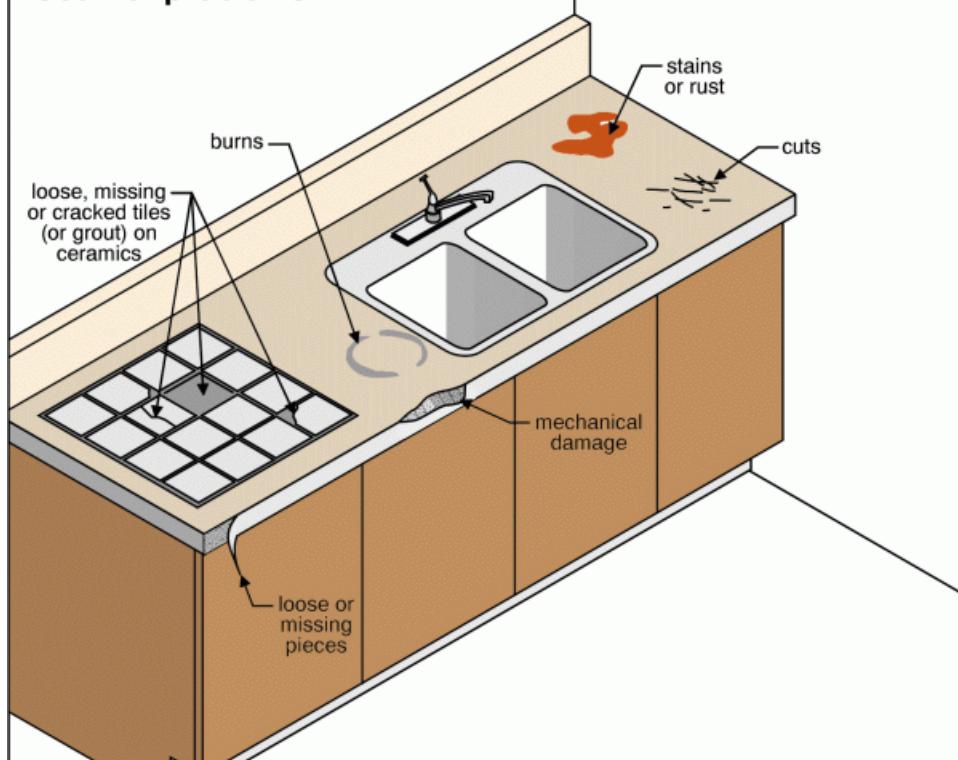
INSULATION

PLUMBING

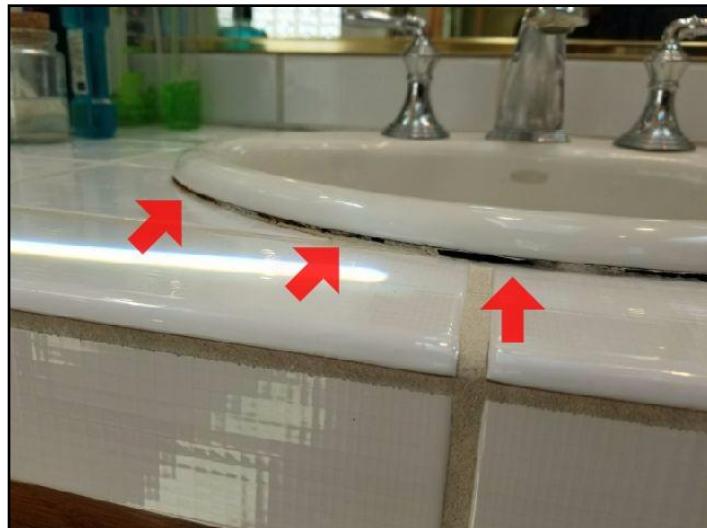
INTERIOR

REFERENCE

## Counter problems



83. Grout loose or missing



84. Grout loose or missing

## EXHAUST FANS \ General

Condition: • Inoperative

Non functional exhaust fan noted.

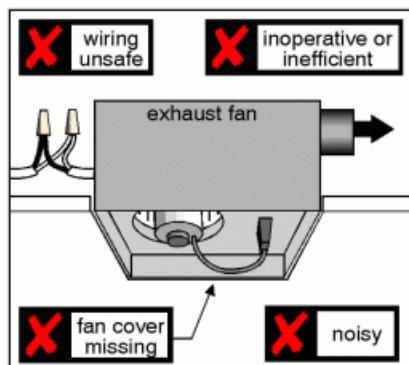
Implication(s): Chance of condensation damage to finishes and/or structure

Location: First Floor Hallway Bathroom

**Task:** Repair or replace

**Time:** Immediate

## Exhaust fan conditions



85. Inoperative

## GARAGE \ Door between garage and living space

**Condition:** • No self closer

Garage door between garage and kitchen was not auto closing. Recommend repairs.

**Implication(s):** Hazardous combustion products entering home

**Location:** Garage

**Task:** Provide

**Time:** Immediate

# SUMMARY

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

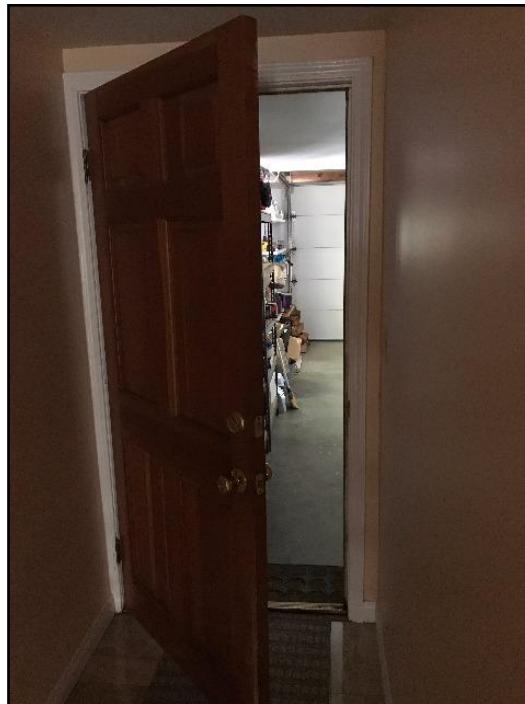
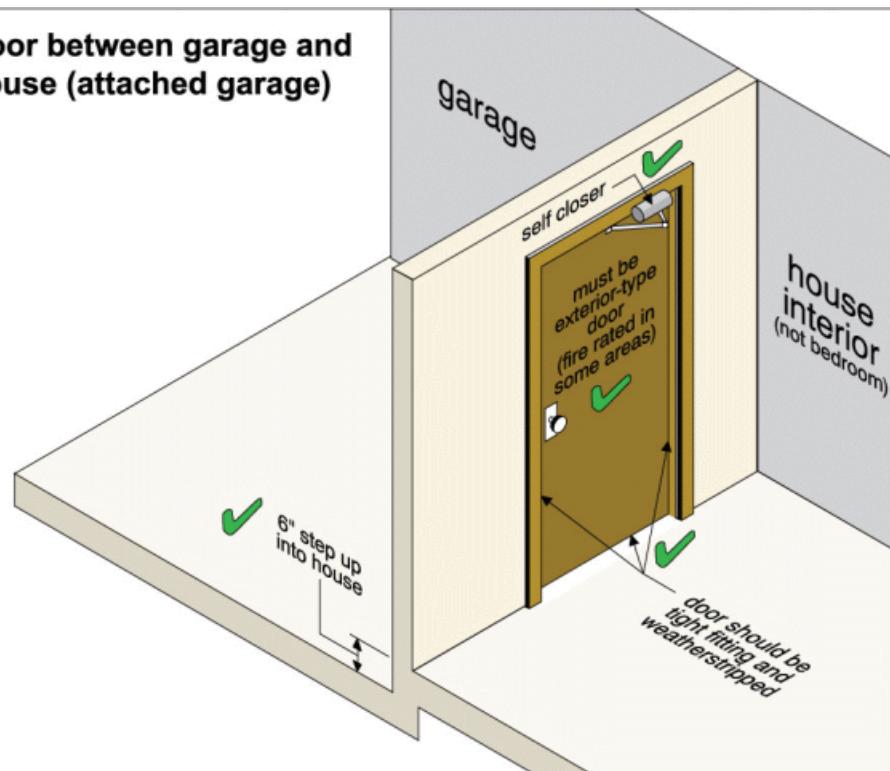
INSULATION

PLUMBING

INTERIOR

REFERENCE

## Door between garage and house (attached garage)



86. No self closer

## GARAGE \ Vehicle door operators

Condition: • Sensors inoperative

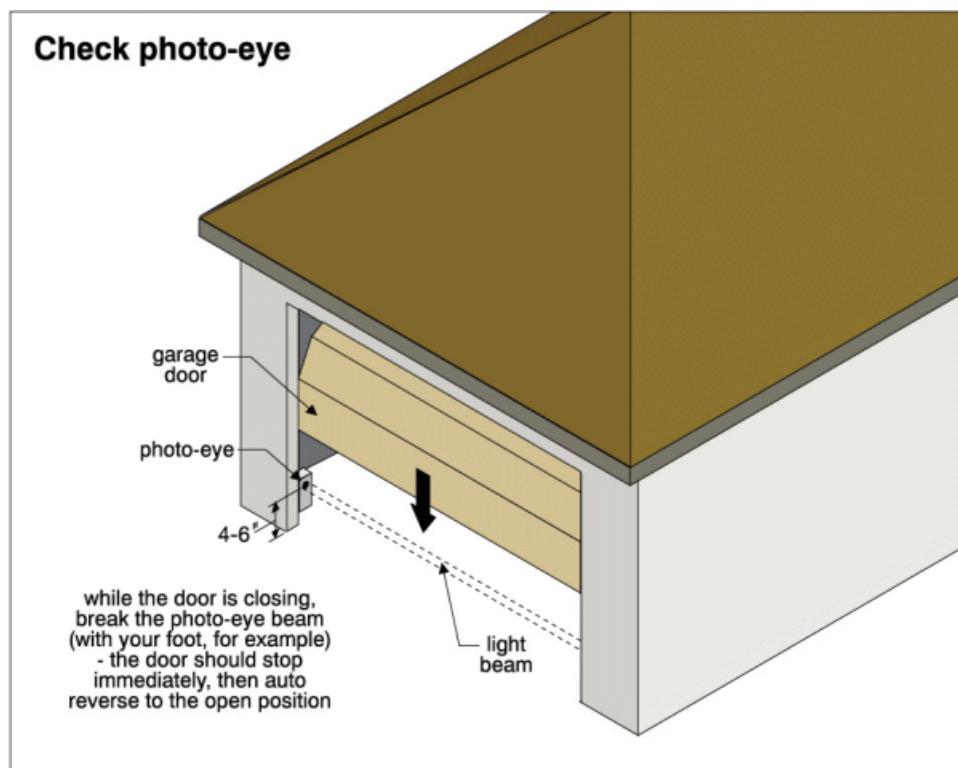
No garage door sensors were present. This is considered a safety hazard and requires installation of sensors.

**Implication(s):** Physical injury

**Location:** Garage

**Task:** Provide

**Time:** Immediate





87. Sensors inoperative



88. Sensors inoperative

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Sloped roofing material:** • [Concrete tile](#)

## Limitations

**Roof inspection limited/prevented by:** • Fragile Roof Tiles

**Inspection performed:** • From the ground

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Description

**Gutter & downspout material:** • [Aluminum](#)

**Lot slope:** • [Flat](#)

**Wall surfaces and trim:** • [Stucco](#) • [Hardboard, plywood or OSB](#)

**Wall surfaces - masonry:** • [Artificial stone](#)

**Driveway:** • Concrete

## Limitations

**Inspection limited/prevented by:**

- Vines/shrubs/trees against wall



89. Vines/shrubs/trees against wall

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Recommendations

### ROOF DRAINAGE \ Flat roof drains

**1. Condition:** • [Clogged](#)

Debris noted to surface drains. Recommend cleaning, removal of debris for proper and adequate drainage.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

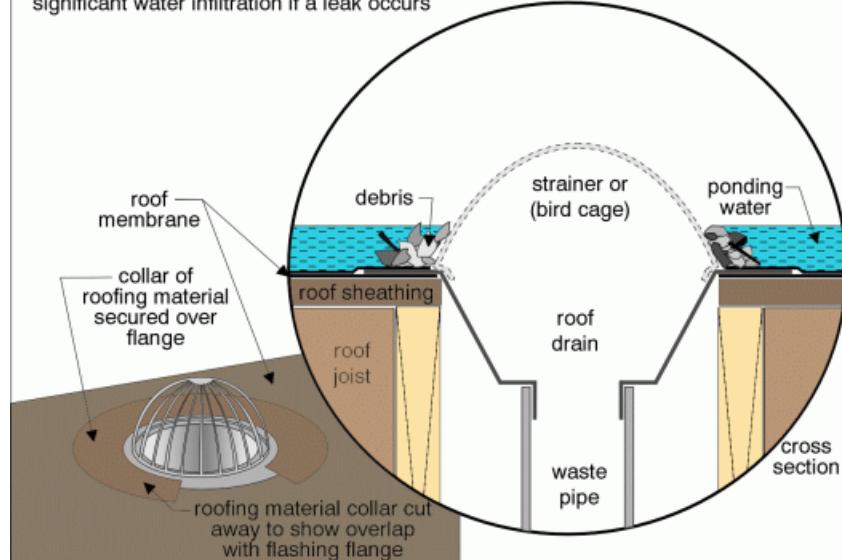
**Location:** North Second Floor Patio

**Task:** Clean

**Time:** Regular maintenance

## Clogged interior flat roof drain

interior flat roof drains clogged with debris can cause water ponding, leading to: shortened roof life, possible freeze/thaw damage, additional weight/roof sag and significant water infiltration if a leak occurs



90. Clogged



91. Clogged

## WALLS \ Soffits and fascia

### 2. Condition: • Rot or insect damage

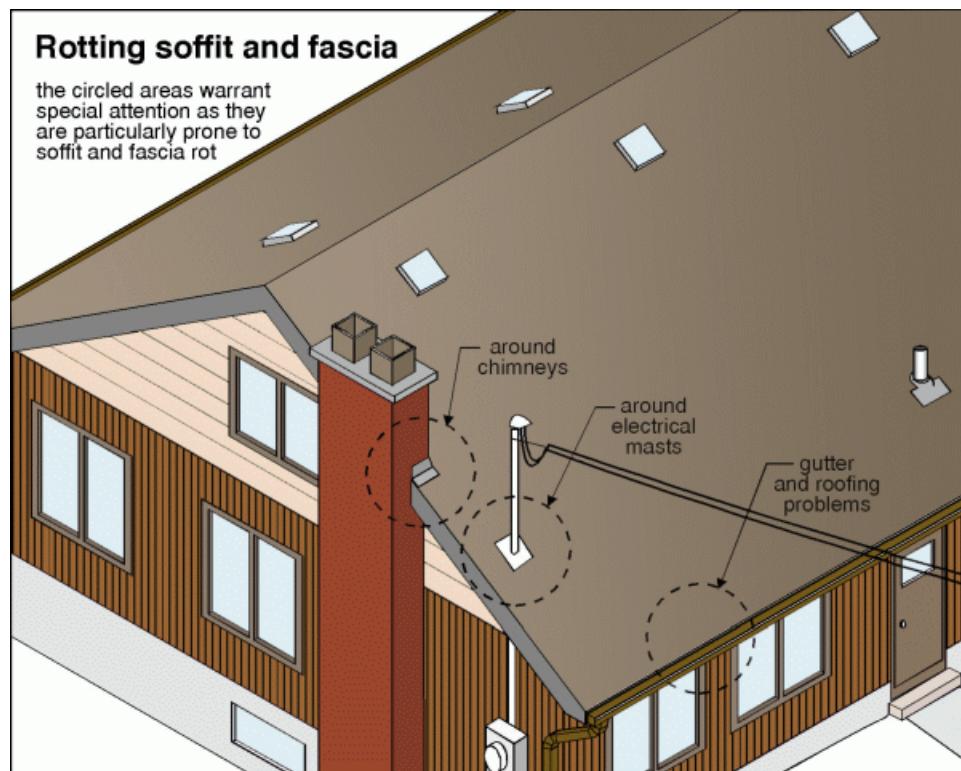
Signs of deterioration, dry rot, possible insect damage was noted. Recommend further evaluation by a licensed specialist.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Various Exterior

**Task:** Repair or replace

**Time:** Immediate



92. Rot or insect damage



93. Rot or insect damage

# EXTERIOR

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



94. Rot or insect damage



95. Rot or insect damage



96. Rot or insect damage



97. Rot or insect damage



98. Rot or insect damage



99. Rot or insect damage



100. Rot or insect damage



101. Rot or insect damage

#### WALLS \ Trim

##### 3. Condition: • Rot or insect damage

Exterior trim was observed and evidence of deterioration, dry rot, possible insect damage was noted.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration**Location:** Various Exterior Wall**Task:** Repair or replace**Time:** Immediate**102.** *Rot or insect damage***WALLS \ Wood siding****4. Condition:** • [Rot or insect damage](#)

Signs of deterioration due to moisture, possible insect damage was noted. Recommend further evaluation by a licensed specialist.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration**Location:** Various Exterior Wall**Task:** Repair or replace**Time:** Immediate



103. Rot or insect damage



104. Rot or insect damage

**EXTERIOR GLASS/WINDOWS \ Frames****5. Condition:** • Rot or insect damage

Signs of deterioration, possible insect damage was noted to window wood trim. A licensed specialist is recommended to further evaluate.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Material deterioration

**Location:** Various Exterior Wall

**Task:** Repair or replace

**Time:** Immediate



105. Rot or insect damage



106. Rot or insect damage



107. Rot or insect damage



108. Rot or insect damage



109. Rot or insect damage



110. Rot or insect damage

**111. Rot or insect damage****DOORS \ Doors and frames****6. Condition:** • Rot or insect damage

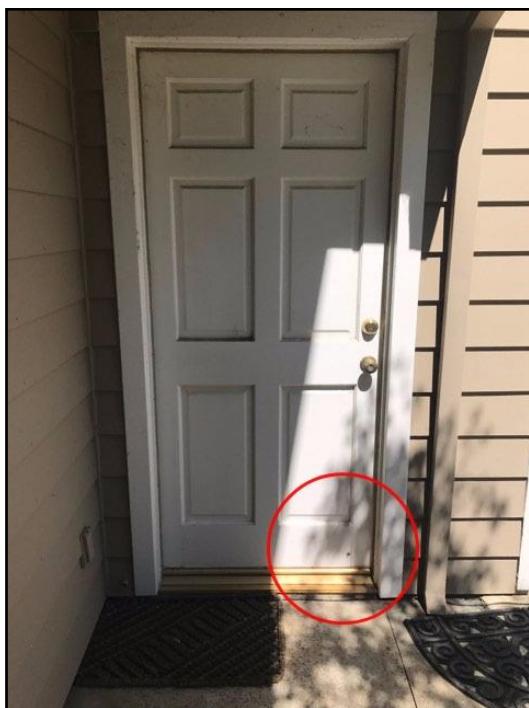
Signs of deterioration, possible insect damage was noted to door.

**Implication(s):** Chance of damage to finishes and structure

**Location:** North Exterior

**Task:** Repair or replace

**Time:** Immediate

**112. Rot or insect damage****113. Rot or insect damage**

## 7. Condition: • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to door frame.

**Implication(s):** Chance of damage to finishes and structure

**Location:** East Exterior

**Task:** Repair or replace

**Time:** Immediate



114. Rot or insect damage



115. Rot or insect damage

## PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

### 8. Condition: • [Rot](#)

Rot and/or insect damage noted. Wood to soil contact.

**Implication(s):** Weakened structure

**Location:** East Exterior Patio

**Task:** Repair or replace

**Time:** Immediate

**116. Rot****PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards****9. Condition:** • Rot or insect damage

Signs of deterioration, rot noted. Recommend further evaluation by a licensed specialist.

**Implication(s):** Fall hazard

**Location:** North 2nd Floor Exterior Patio

**Task:** Repair or replace

**Time:** Immediate



117. Rot or insect damage

## LANDSCAPING \ Lot grading

**10. Condition:** • [Improper slope or drainage](#)

**Implication(s):** Chance of water damage to contents, finishes and/or structure

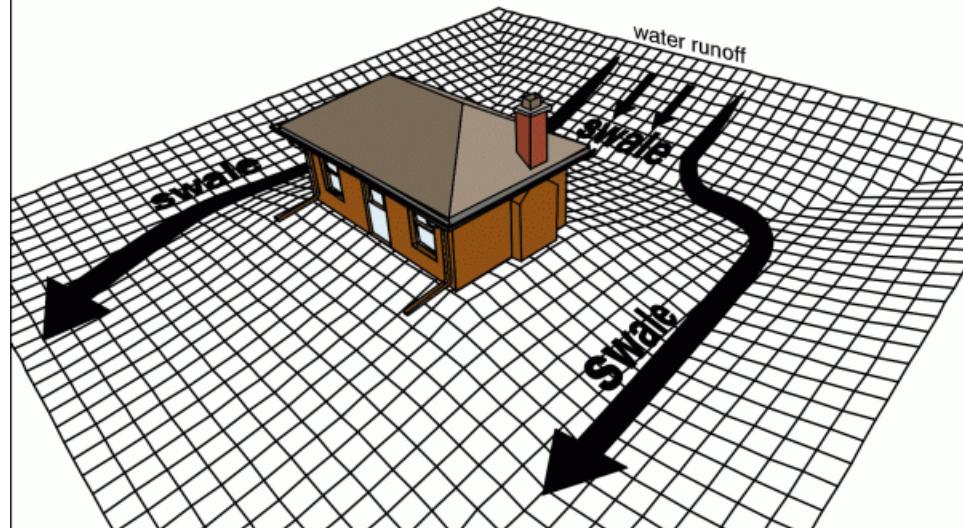
**Location:** Various Exterior

**Task:** Improve

**Time:** Immediate

**Recommended grading slopes****Swales**

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



# EXTERIOR

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE



118. *Improper slope or drainage*



119. *Improper slope or drainage*



120. *Improper slope or drainage*



121. *Improper slope or drainage*



122. *Improper slope or drainage*

## Description

**Configuration:** • [Slab-on-grade](#)

**Foundation material:** • [Poured concrete](#)

**Exterior wall construction:** • [Wood frame](#)

**Roof and ceiling framing:** • Rafters • [Plywood sheathing](#)

## Limitations

**Not included as part of a building inspection:** • Visible mold evaluation is not included in the building inspection report

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Recommendations

### FOUNDATIONS \ General

**11. Condition:** • [Cracked](#)

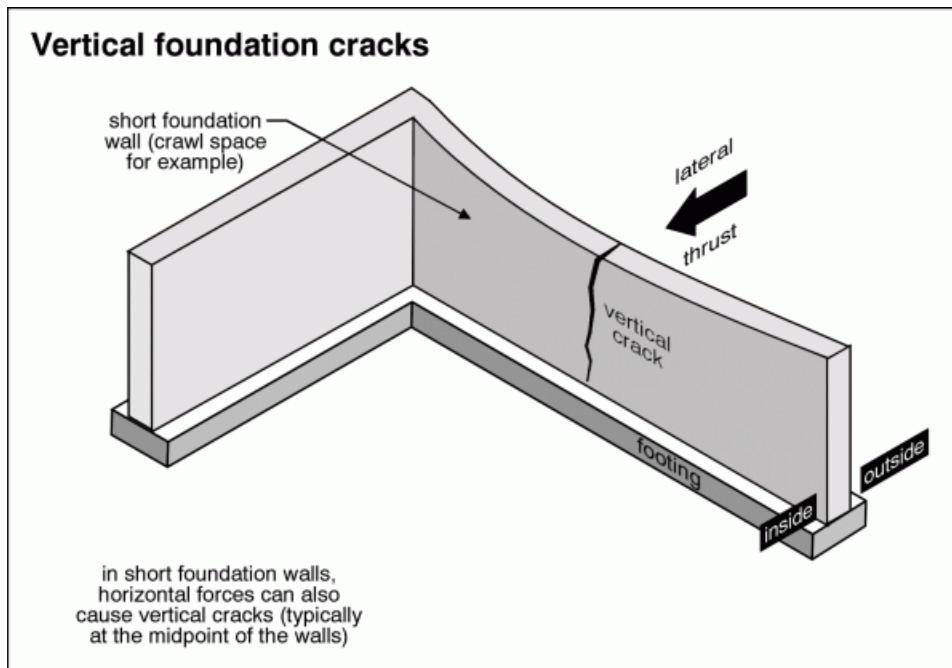
Signs of cracks were noted to foundation. A licensed specialist may be recommended to further evaluate.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Weakened structure

**Location:** West Exterior

**Task:** Further evaluation

**Time:** Immediate





123. Cracked



124. Cracked

**12. Condition:** • Cracked

Chipped concrete noted to foundation. Recommend further evaluation by a licensed professional.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Weakened structure

**Location:** South Exterior

**Task:** Further evaluation

**Time:** Immediate



125. Cracked

## ROOF FRAMING \ Beams

### 13. Condition: • Rot

Signs of deterioration, rot, possible insect damage noted. Recommend further evaluation by a licensed specialist.

**Implication(s):** Chance of movement | Material deterioration

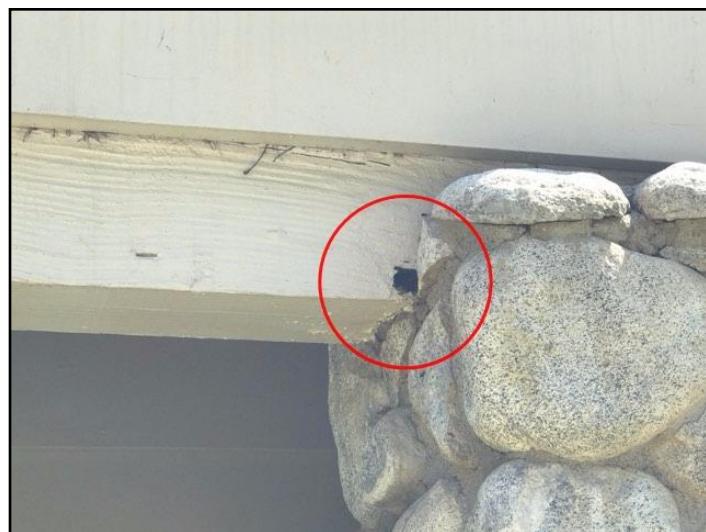
**Location:** South Exterior

**Task:** Repair or replace

**Time:** Immediate



126. Rot



127. Rot

## Description

**Service entrance cable and location:** • [Underground - cable material not visible](#)

**Main disconnect/service box rating:** • [200 Amps](#)

**Main disconnect/service box type and location:** • [Breakers -exterior wall](#)

**System grounding material and type:** • Grounding Rod

## Limitations

**System ground:** • Quality of ground not determined

## Recommendations

### **DISTRIBUTION SYSTEM \ Junction boxes**

**14. Condition:** • [Missing, loose](#)

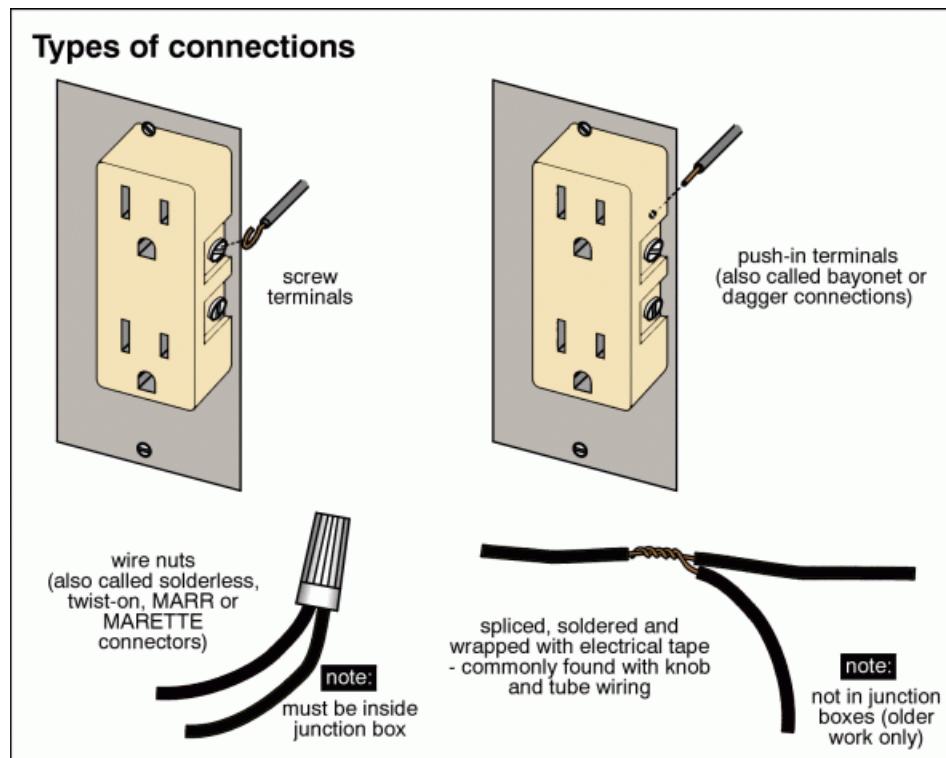
Loose junction box noted. Recommend properly securing and/or replacement. A licensed electrical specialist may be recommended to further evaluate.

**Implication(s):** Electric shock | Fire hazard

**Location:** Southeast Pool / Spa

**Task:** Correct

**Time:** Immediate





128. Missing, loose

## DISTRIBUTION SYSTEM \ Outlets (receptacles)

### 15. Condition: • Inoperative

Non functional outlet was noted. A licensed electrical specialist may be recommended to further evaluate.

**Implication(s):** Equipment inoperative

**Location:** Kitchen

**Task:** Repair or replace

**Time:** Immediate



129. *Inoperative*

**16. Condition:** • Ungrounded

Outlet was functional at the time of the inspection, however, bad ground was noted. Test faulty on GFCI due to bad ground. A licensed electrical specialist may be recommended to further evaluate and estimate cost for repairs.

**Implication(s):** Electric shock

**Location:** Kitchen

**Task:** Repair or replace

**Time:** Immediate



130. Ungrounded

## DISTRIBUTION SYSTEM \ Cover plates

### 17. Condition: • Missing

Missing cover plate(s) noted. Recommend installing cover plates to prevent injuries from electrical shock.

**Implication(s):** Electric shock

**Location:** Garage

**Task:** Provide

**Time:** Immediate



131. Missing



132. Missing

## DISTRIBUTION SYSTEM \ Lights

### 18. Condition: • Loose

Loose surface mount lights noted. Recommend repairs.

**Implication(s):** Electric shock | Fire hazard

**Location:** Various Exterior Wall

**Task:** Repair

**Time:** Immediate



133. Loose



134. Loose

## DISTRIBUTION SYSTEM \ Smoke detectors

### 19. Condition: • Inoperative

Non functional smoke alarm noted. Recommend repairs and/or replacement.

**Implication(s):** Fire hazard

**Location:** Second Floor Hall

**Task:** Replace

**Time:** Immediate



135. Inoperative

# HEATING

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**System type:** • [Furnace](#)

**Fuel/energy source:** • [Gas](#)

**Furnace manufacturer:** • Day & Night



136. Day & Night



137. Day & Night

**Heat distribution:** • [Ducts and registers](#)

**Approximate capacity:** • [80,000 BTU/hr](#)

**Approximate age:** • 25 - 35 Yrs.

**Main fuel shut off at:** • Near furnace

## Limitations

**Inspection prevented/limited by:** • Chimney interiors and flues are not inspected

**Heat loss calculations:** • Not done as part of a building inspection

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

# COOLING & HEAT PUMP

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Air conditioning type:** • [Air cooled](#)

**Manufacturer:** • Day & Night



138.

**Cooling capacity:** • 3 Tons

**Compressor approximate age:** • 10-15 Years

**Failure probability:** • No probable signs noted

## Limitations

**Heat gain calculations:** • Not done as part of a building inspection

**Heat gain/loss calculations:** • Not done as part of a building inspection

**Not part of a home inspection:** • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

## Recommendations

### AIR CONDITIONING \ Condensate system

#### 20. Condition: • [Pan overflowing](#)

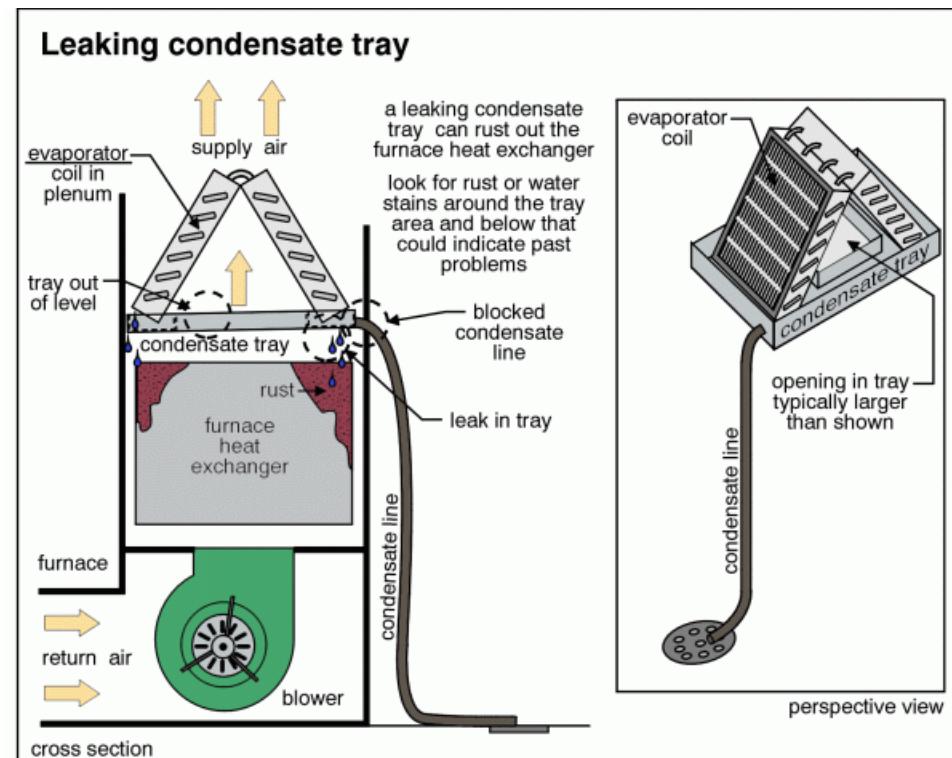
Water pooling was noted at drip pan. Signs of poor drainage at condensation drain pipes. A licensed HVAC specialist is recommended to further evaluate.

**Implication(s):** Chance of water damage to contents, finishes and/or structure | Damage to equipment

**Location:** Attic

**Task:** Further evaluation

**Time:** Immediate





139. Pan overflowing

## AIR CONDITIONING \ Refrigerant lines

### 21. Condition: • Insulation - missing

Missing insulation noted. Recommend installing insulation to prevent lines from freeze.

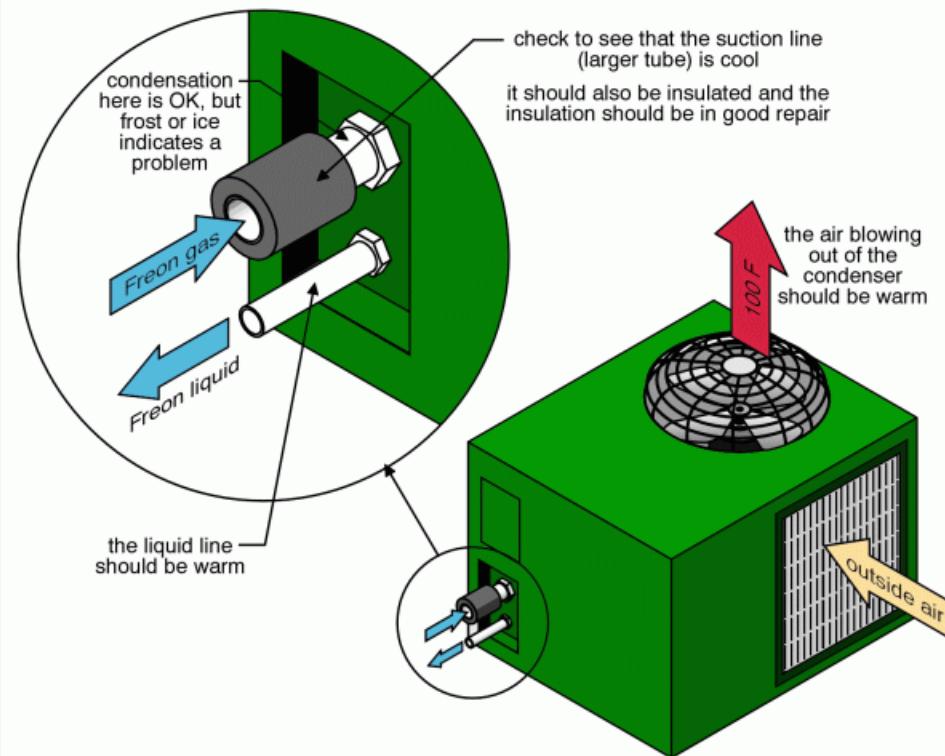
**Implication(s):** Reduced system life expectancy | Increased cooling costs | Reduced comfort

**Location:** North Exterior

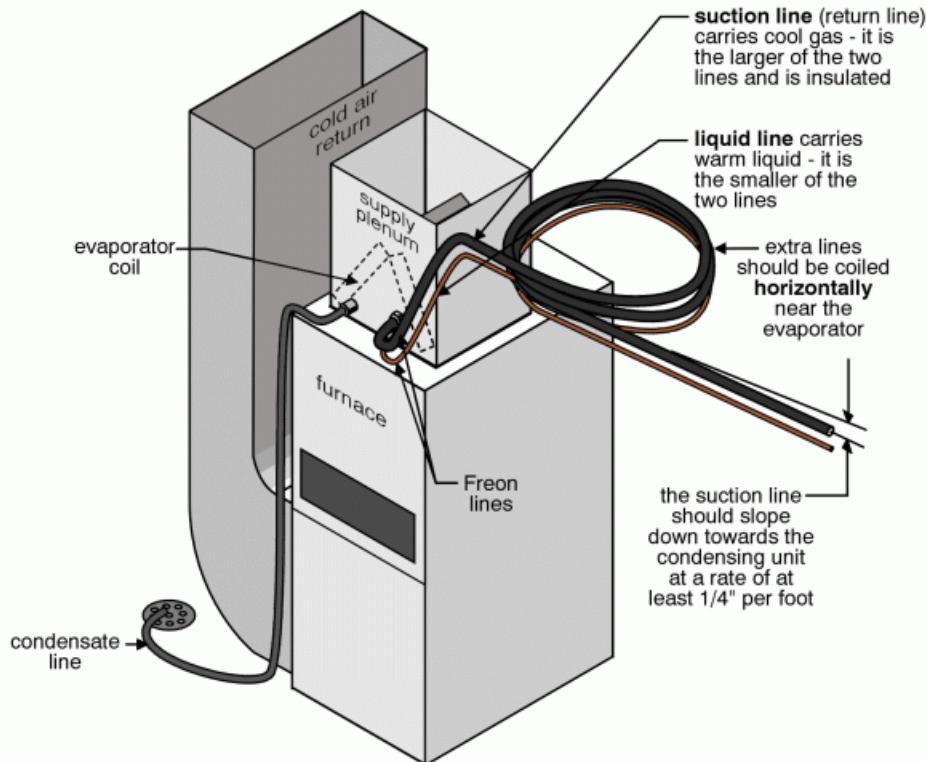
**Task:** Provide

**Time:** When necessary

## Inspecting the condenser unit



## Refrigerant lines



140. Insulation - missing



141. Insulation - missing

# INSULATION AND VENTILATION

, Chatsworth, CA June 9, 2017

Report No. 1117, v.2

[qchomeinspect.wix.com/homeinspect](http://qchomeinspect.wix.com/homeinspect)

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

## Description

**Attic/roof insulation material:** • [Glass fiber](#)

**Attic/roof air/vapor barrier:** • [Kraft paper](#)

**Attic/roof ventilation:** • [Roof vent](#) • [Gable vent](#)

## Limitations

**Attic inspection performed:** • By entering attic, but access was limited

**Roof space inspection performed:** • By entering space, but access was limited

**Roof ventilation system performance:** • Not evaluated

**Mechanical ventilation effectiveness:** • Not verified

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Description

**Water supply source:** • Public

**Service piping into building:** • [Copper](#)

**Supply piping in building:** • [Copper](#)

**Main water shut off valve at the:** • South

**Water flow and pressure:** • 80 PSI

**Water heater type:** • [Conventional](#)

**Water heater fuel/energy source:** • [Gas](#)

**Water heater manufacturer:**

• Bradford White



**142. Bradford White**

**Tank capacity:** • [75 gallons](#)

**Water heater approximate age:** • 5 years

**Waste and vent piping in building:** • [Not visible](#)

## Limitations

**Items excluded from a building inspection:** • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

**Environmental issues are outside the scope of a home inspection:** • This includes issues such as asbestos.

## Recommendations

### FIXTURES AND FAUCETS \ Faucet

**22. Condition:** • Loose

Loose faucet noted.

**Implication(s):** Equipment failure

**Location:** First Floor Hallway Bathroom

**Task:** Repair or replace

**Time:** Immediate



143. Loose

### FIXTURES AND FAUCETS \ Shower stall

**23. Condition:** • Cracked class noted. Recommend repairs and/or replacement.

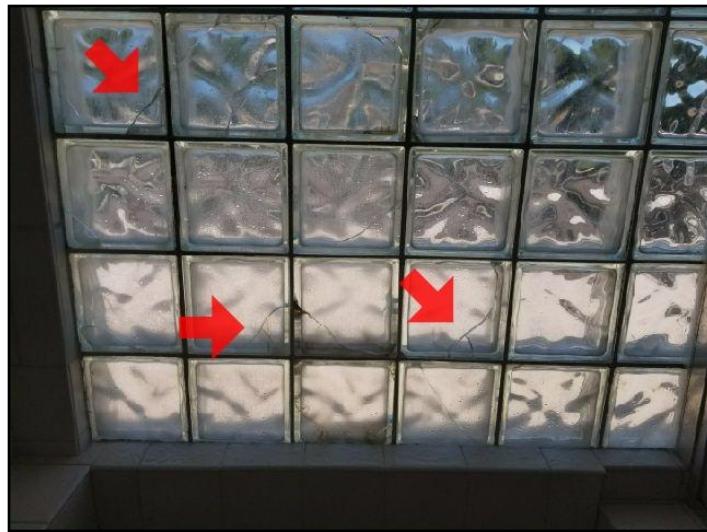
**Location:** Second Floor Master Bathroom

**Task:** Replace

**Time:** Immediate



144.



145.

## 24. Condition: • Grout loose, missing or deteriorated

Signs of missing caulking/grout noted. Suggest tub/shower edges, tiles be caulked and sealed to prevent moisture penetration. All missing, deteriorated/damaged caulking, grouting should be replaced, Failure to keep tub shower edges sealed can potentially cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of the inspection.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** Second Floor Hallway Bathroom

**Task:** Repair

**Time:** Immediate



146. Grout loose, missing or deteriorated



147. Grout loose, missing or deteriorated

**25. Condition:** • Grout loose, missing or deteriorated

Signs of missing caulking/grout noted. Suggest tub/shower edges, tiles be caulked and sealed to prevent moisture penetration. All missing, deteriorated/damaged caulking, grouting should be replaced, Failure to keep tub shower edges sealed can potentially cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of the inspection.

**Implication(s):** Chance of water damage to contents, finishes and/or structure

**Location:** First Floor Hallway Bathroom

**Task:** Repair

**Time:** Immediate



148. Grout loose, missing or deteriorated

**POOL / SPA / HOT TUB \ General**

**26. Condition:** • Surrounding deck/concrete cracked

Cracks were noted to concrete pool deck. Recommend sealing cracks to prevent from further expansion. If requested, a licensed specialist may be recommended to further evaluate.

**Implication(s):** Material deterioration | Equipment not operating properly | Physical injury

**Location:** Pool / Spa

**Task:** Further evaluation

**Time:** Immediate



149. Surrounding deck/concrete cracked



150. Surrounding deck/concrete cracked



151. Surrounding deck/concrete cracked



152. Surrounding deck/concrete cracked

## POOL / SPA / HOT TUB \ Mechanical

### 27. Condition: • Pump leaking

Leak noted at pool pump. A licensed pool specialist is recommended to further evaluate.

**Implication(s):** Reduced operability

**Location:** Pool / Spa

**Task:** Repair

**Time:** Immediate



153. Pump leaking



154. Pump leaking

## Description

**Windows:** • [Casement](#)

**Glazing:** • [Single](#)

**Kitchen ventilation:** • Exhaust fan

**Bathroom ventilation:** • Window

**Bathroom ventilation:** • Exhaust fan • Exhaust fan

## Limitations

**Inspection limited/prevented by:**

- Storage/furnishings



155. Storage/furnishings



156. Storage/furnishings



157. Storage/furnishings



158. Storage/furnishings



159. Storage/furnishings



160. Storage/furnishings



161. Storage/furnishings

- Storage in closets and cabinets / cupboards



162. Storage/furnishings



163. Storage in closets/cupboards

**Not included as part of a building inspection:** • Central vacuum systems • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

**Cosmetics:** • No comment offered on cosmetic finishes

**Environmental issues are outside the scope of a home inspection :** • This includes issues such as asbestos.

## Recommendations

### CEILINGS \ General

#### **28. Condition:** • Stains

Signs of water/moisture stains were noted to ceiling. Recommend monitoring. A licensed specialist may be recommended to further evaluate.

**Location:** Second Floor Bedroom

**Task:** Further evaluation, Seller disclose

**Time:** Immediate

**164. Stains****29. Condition:** • Water stains

Ceiling was observed and evidence of deterioration/bubbling surface was noted. A licensed specialist may be recommended to further evaluate.

**Location:** Second Floor Bedroom

**Task:** Further evaluation, Seller disclose

**Time:** Immediate

**165. Water stains****166. Water stains**



167. Water stains

**30. Condition:** • Water stains

Signs of water stains, deterioration was noted. Recommend further evaluation by a licensed specialist. Recommend seller disclose.

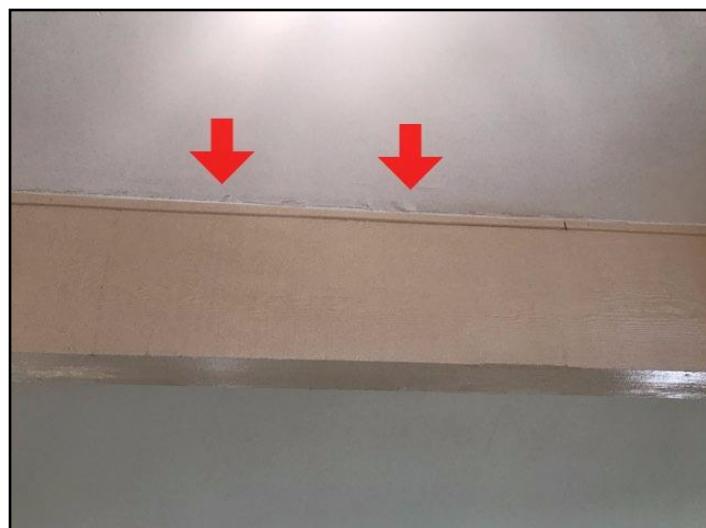
**Location:** Second Floor Staircase, Living room

**Task:** Further evaluation

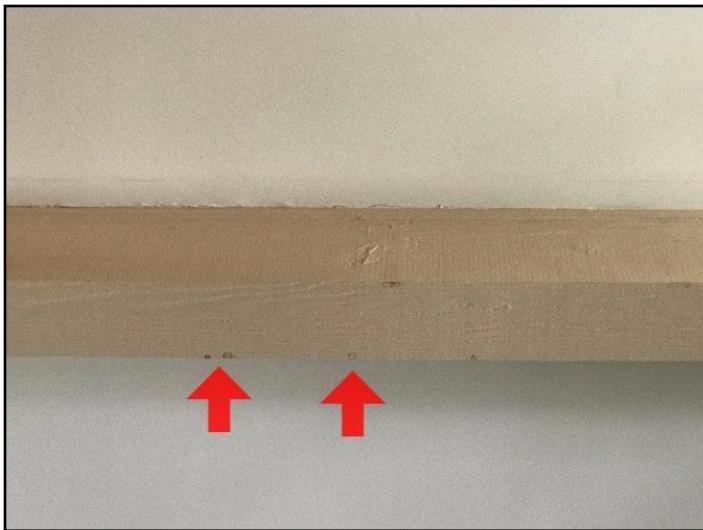
**Time:** Immediate



168. Water stains



169. Water stains



170. Water stains



171. Water stains

**31. Condition:** • Water stains

Signs of water stains was noted to ceiling. Master bathroom at 2nd floor is above the area where the moisture stains were noted. Recommend further evaluation by a licensed specialist. Recommend seller disclose.

**Location:** Garage

**Task:** Monitor Request disclosure

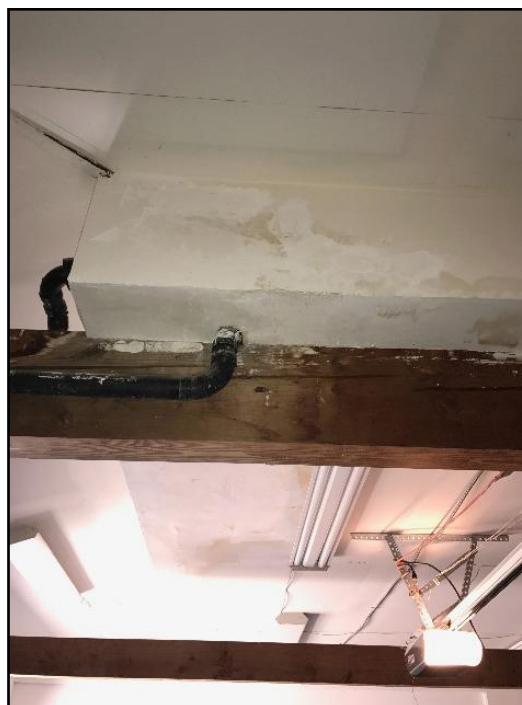
**Time:** Immediate



172. Water stains



173. Water stains

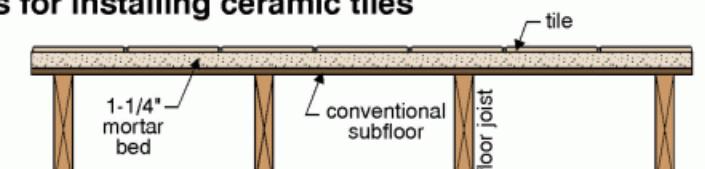
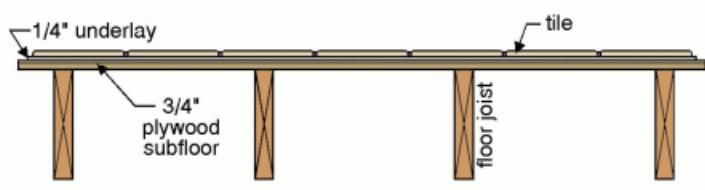
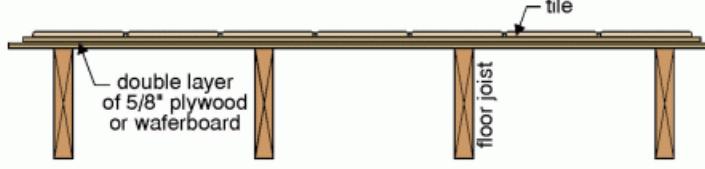
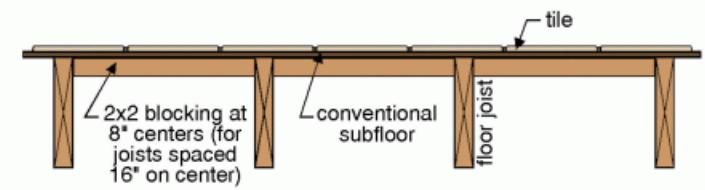
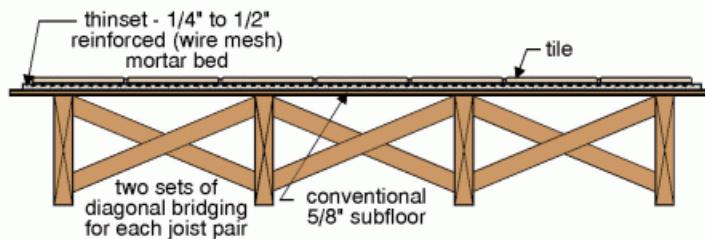


174. Water stains

## FLOORS \ Ceramic tile, stone, marble, etc

### 32. Condition: • Tiles cracked

Cracked tiles noted

**Implication(s):** Trip or fall hazard**Location:** Second Floor Hallway Bathroom**Task:** Repair or replace**Time:** Immediate**Alternatives for installing ceramic tiles****(A)****(B)****(C)****(D)****(E)**



175. Tiles cracked

## WINDOWS \ General

### 33. Condition: • Difficult to operate

Difficult to operate. Hard operation was noted to window. Recommend repairs for ease of operation.

**Implication(s):** System inoperative or difficult to operate

**Location:** Various First Floor Kitchen

**Task:** Improve, Correct

**Time:** Immediate



176. Difficult to operate

## WINDOWS \ Frames

### 34. Condition: • Gaps noted. Recommended sealing and/or caulking.

**Location:** First Floor Living Room

**Task:** Correct

**Time:** Immediate



177.



178.

**WINDOWS \ Hardware****35. Condition:** • Inoperative

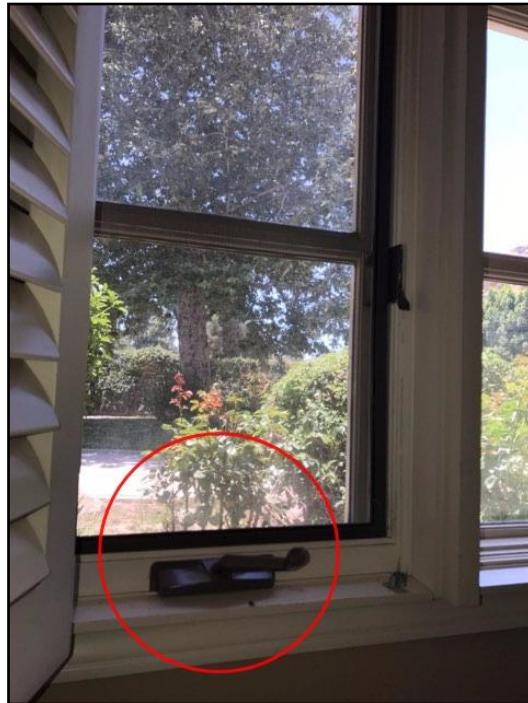
Inoperative windows noted. Recommend repairs for ease of operation.

**Implication(s):** System inoperative or difficult to operate

**Location:** First Floor Living Room

**Task:** Repair or replace

**Time:** Immediate

**179. Inoperative****36. Condition:** • Inoperative

Inoperable windows noted. Recommend repairs for ease of operation.

**Implication(s):** System inoperative or difficult to operate

**Location:** Bedrooms

**Task:** Repair, Further evaluation

**Time:** Immediate



180. Inoperative



181. Inoperative



182. Inoperative



183. Inoperative

## DOORS \ Doors and frames

### **37. Condition:** • Does not latch properly

Door locking mechanism was not fully functional. Locking mechanism does not latch. Recommend repairs.

**Implication(s):** System inoperative or difficult to operate

**Location:** Second Floor Hallway Bathroom

**Task:** Repair

**Time:** Immediate



184. Does not latch properly

## CARPENTRY \ Countertops

### **38. Condition:** • Grout loose or missing

Missing grout noted. Recommend repairs to prevent deterioration to cabinet or walls from water moisture intrusion.

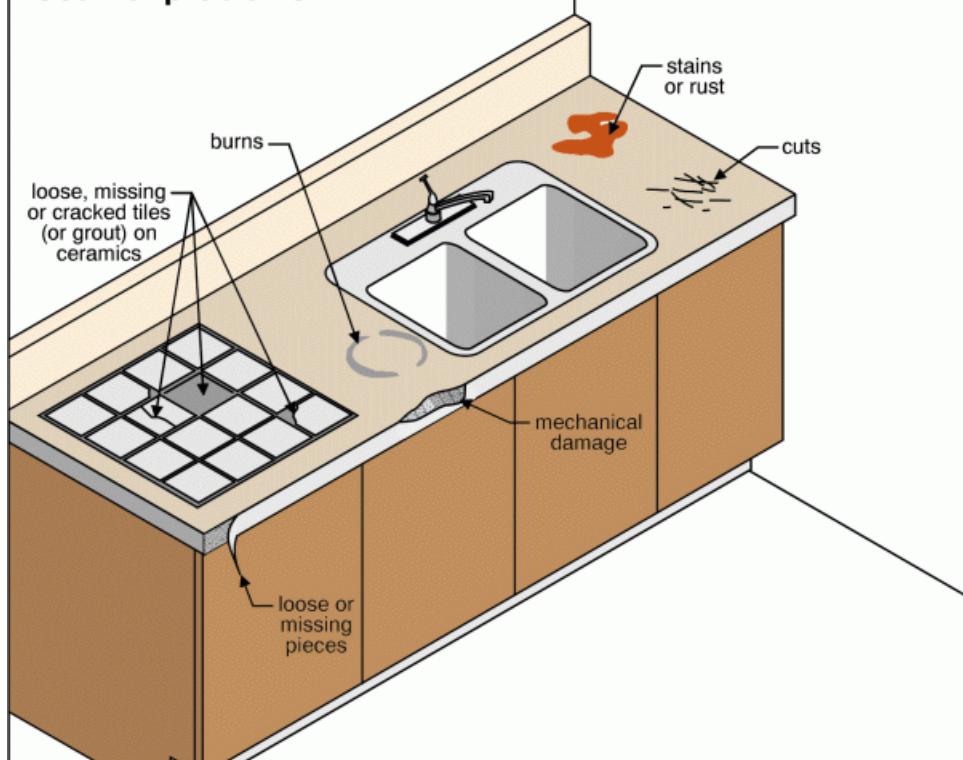
**Implication(s):** Hygiene issue

**Location:** Second Floor Master Bathroom

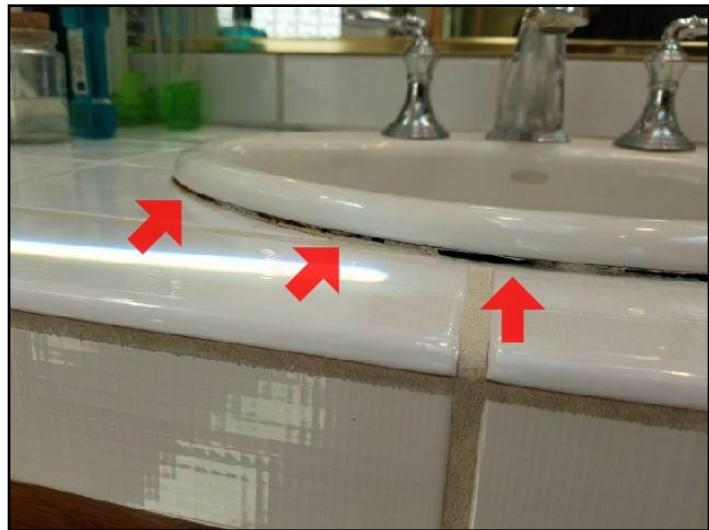
**Task:** Provide

**Time:** Immediate

## Counter problems



185. Grout loose or missing



186. Grout loose or missing

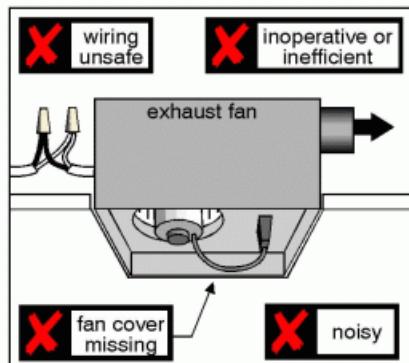
## EXHAUST FANS \ General

### 39. Condition: • Inoperative

Non functional exhaust fan noted.

**Implication(s):** Chance of condensation damage to finishes and/or structure

**Location:** First Floor Hallway Bathroom

**Task:** Repair or replace**Time:** Immediate**Exhaust fan conditions****187. Inoperative****GARAGE \ Door between garage and living space****40. Condition:** • No self closer

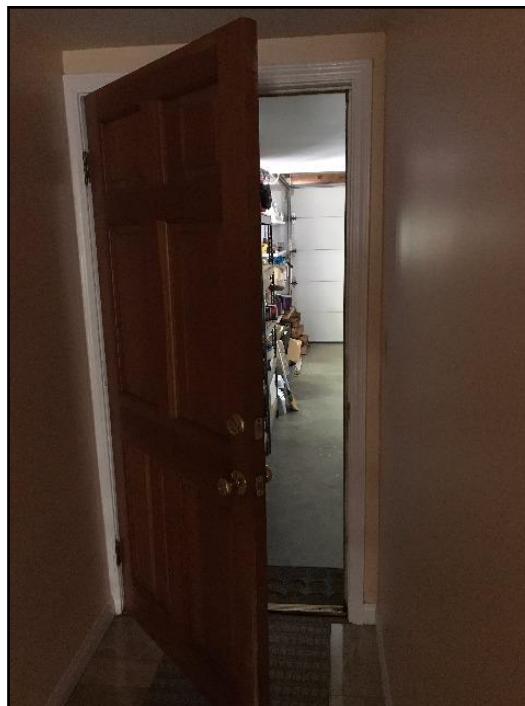
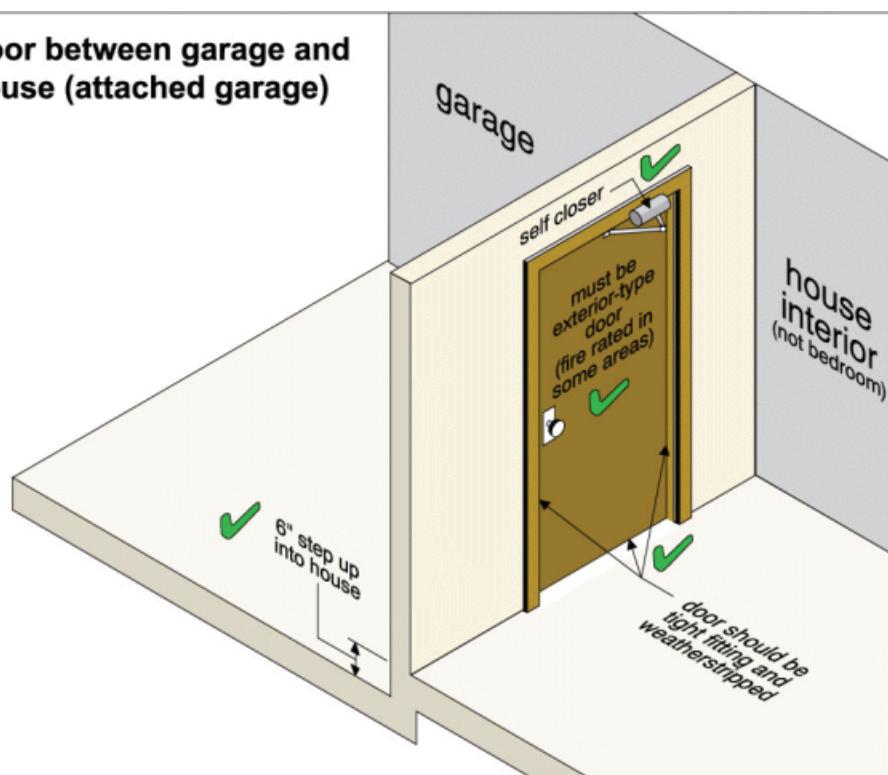
Garage door between garage and kitchen was not auto closing. Recommend repairs.

**Implication(s):** Hazardous combustion products entering home

**Location:** Garage

**Task:** Provide

**Time:** Immediate

**Door between garage and house (attached garage)****188. No self closer****GARAGE \ Vehicle door operators****41. Condition:** • Sensors inoperative

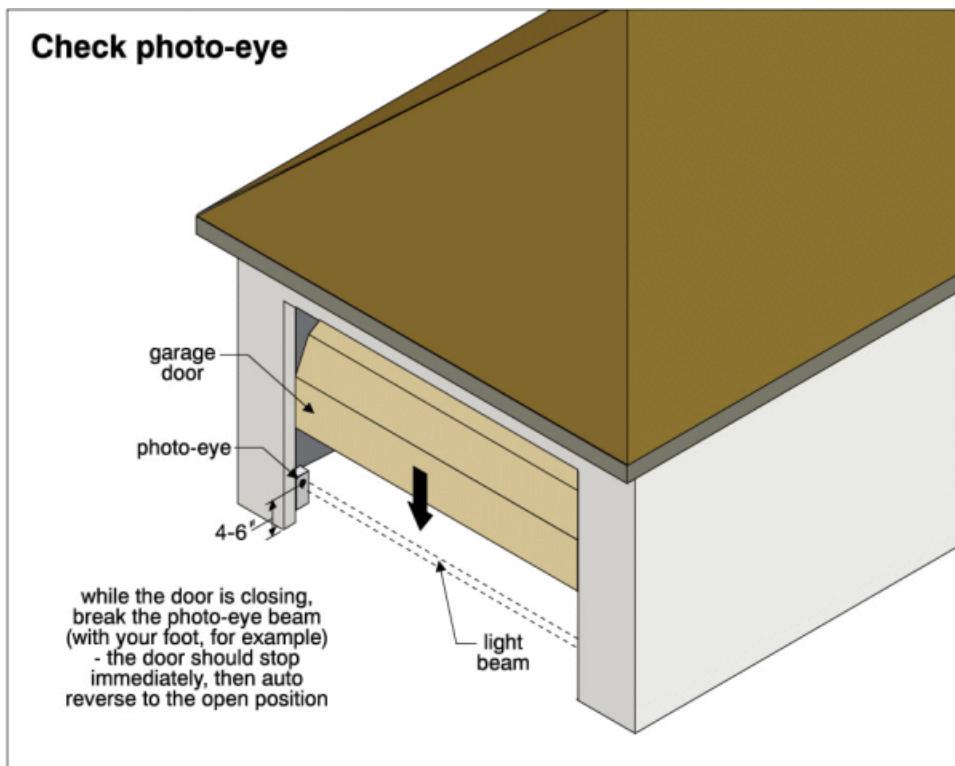
No garage door sensors were present. This is considered a safety hazard and requires installation of sensors.

**Implication(s):** Physical injury

**Location:** Garage

**Task:** Provide

**Time:** Immediate





189. Sensors inoperative



190. Sensors inoperative

END OF REPORT

SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS