

INSPECTION REPORT



For the Property at:

CHATS WORTH, CA 91311

Prepared for: . .

Inspection Date: Friday, June 9, 2017

Prepared by: Quality Care Home Inspections



Quality Care Home Inspections & Retrofitting
1030 East Avenue South, Suite 18
Palmdale, CA 93550
(818) 987-1847

qchomeinspect.wix.com/homeinspect
qualitycarehomeinspections@gmail.com



February 3, 2018

Dear . . ,

RE: Report No. 1117, v.2

.
Chatsworth, CA
91311

Thanks very much for choosing us to perform your home inspection. The inspection itself and the attached report comply with the requirements of the Standards of Practice of our national Association. This document defines the scope of a home inspection.

Clients sometimes assume that a home inspection will include many things that are beyond the scope. We encourage you to read the Standards of Practice so that you clearly understand what things are included in the home inspection and report.

The report has been prepared for the exclusive use of our client. No use by third parties is intended. We will not be responsible to any parties for the contents of the report, other than the party named herein .

The report is effectively a snapshot of the house, recording the conditions on a given date and time. Home inspectors cannot predict future behavior, and as such, we cannot be responsible for things that occur after the inspection. If conditions change, we are available to revisit the property and update our report.

The report itself is copyrighted, and may not be used in whole or in part without our express written permission.

Again, thanks very much for choosing us to perform your home inspection.

Sincerely,

Quality Care Home Inspections
on behalf of
Quality Care Home Inspections & Retrofitting

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AGREEMENT

., Chatsworth, CA June 9, 2017

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PARTIES TO THE AGREEMENT

Company

Quality Care Home Inspections &
Retrofitting
1030 East Avenue South, Suite 18
Palmdale, CA 93550

Client

..

This is an agreement between .. and Quality Care Home Inspections & Retrofitting.

THIS CONTRACT LIMITS THE LIABILITY OF THE HOME INSPECTION COMPANY.
PLEASE READ CAREFULLY BEFORE SIGNING.

In addition to the limitations in the Standards of Practice, the Inspection of this property is subject to the Limitations and Conditions set out in this Agreement. The Inspection is performed in accordance with the Standards of Practice of our national association.

LIMITATIONS AND CONDITIONS OF THE HOME INSPECTION

There are limitations to the scope of this Inspection. It provides a general overview of the more obvious repairs that may be needed. It is not intended to be an exhaustive list. The ultimate decision of what to repair or replace is yours. One homeowner may decide that certain conditions require repair or replacement, while another will not.

1) THE INSPECTION IS NOT TECHNICALLY EXHAUSTIVE.

The Home Inspection provides you with a basic overview of the condition of the property. Because your Home Inspector has only a limited amount of time to go through the property, the Inspection is not technically exhaustive.

Some conditions noted, such as foundation cracks or other signs of settling in a house, may either be cosmetic or may indicate a potential problem that is beyond the scope of the Home Inspection.

If you are concerned about any conditions noted in the Home Inspection Report, we strongly recommend that you consult a qualified Licensed Contractor or Consulting Engineer. These professionals can provide a more detailed analysis of any conditions noted in the Report at an additional cost

2) THE INSPECTION IS AN OPINION OF THE PRESENT CONDITION OF THE VISIBLE COMPONENTS.

The Home Inspector's Report is an opinion of the present condition of the property. It is based on a visual examination of the readily accessible features of the building.

A Home Inspection does not include identifying defects that are hidden behind walls, floors or ceilings. This includes wiring, heating, cooling, structure, plumbing and insulation that are hidden or inaccessible.

Some intermittent problems may not be obvious on a Home Inspection because they only happen under certain circumstances. As an example, your Home Inspector may not discover leaks that occur only during certain weather conditions or when a specific tap or appliance is being used in everyday life.

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Home Inspectors will not find conditions that may only be visible when storage or furniture is moved. They do not remove wall coverings (including wallpaper) or lift flooring (including carpet) or move storage to look underneath or behind.

3) THE INSPECTION DOES NOT INCLUDE HAZARDOUS MATERIALS.

This includes building materials that are now suspected of posing a risk to health such as phenol-formaldehyde and urea-formaldehyde based insulation, fiberglass insulation and vermiculite insulation. The Inspector does not identify asbestos roofing, siding, wall, ceiling or floor finishes, insulation or fireproofing. We do not look for lead or other toxic metals in such things as pipes, paint or window coverings.

The Inspection does not deal with environmental hazards such as the past use of insecticides, fungicides, herbicides or pesticides. The Home Inspector does not look for, or comment on, the past use of chemical termite treatments in or around the property.

4) WE DO NOT COMMENT ON THE QUALITY OF AIR IN A BUILDING.

The Inspector does not try to determine if there are irritants, pollutants, contaminants, or toxic materials in or around the building.

The Inspection does not include spores, fungus, mold or mildew that may be present. You should note that whenever there is water damage noted in the report, there is a possibility that mold or mildew may be present, unseen behind a wall, floor or ceiling.

If anyone in your home suffers from allergies or heightened sensitivity to quality of air, we strongly recommend that you consult a qualified Environmental Consultant who can test for toxic materials, mold and allergens at additional cost.

5) WE DON'T LOOK FOR BURIED TANKS.

Your Home Inspector does not look for and is not responsible for fuel oil, septic or gasoline tanks that may be buried on the property. If the building had its heating system converted from oil, there will always be the possibility that a tank may remain buried on the property.

If fuel oil or other storage tanks remain on the property, you may be responsible for their removal and the safe disposal of any contaminated soil. If you suspect there is a buried tank, we strongly recommend that you retain a qualified Environmental Consultant to determine whether this is a potential problem.

6) TIME TO INVESTIGATE

We will have no liability for any claim or complaint if conditions have been disturbed, altered, repaired, replaced or otherwise changed before we have had a reasonable period of time to investigate.

7) REPORT IS FOR OUR CLIENT ONLY

The inspection report is for the exclusive use of the client named herein. No use of the information by any other party is intended.

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8) CANCELLATION FEE

If the inspection is cancelled within 24 hours of the appointment time, a cancellation fee of 50% of the inspection fee will apply.

9) NOT A GUARANTEE, WARRANTY OR INSURANCE POLICY.

The inspection is not a guarantee, warranty or an insurance policy with regard to the fitness of the property.

10) LIMIT OF LIABILITY / LIQUIDATED DAMAGES

The liability of the Home Inspector and the Home Inspection Company arising out of this Inspection and Report, for any cause of action whatsoever, whether in contract or in negligence, is limited to a refund of the fees that you have been charged for this inspection.

I, . . (Signature)_____, (Date)_____, have read, understood and accepted the terms of this agreement.

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SUMMARY

ROOFING

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Note: For the purpose of this report the building is considered to be facing **West**.

This Summary outlines potentially significant issues from a cost or safety standpoint. This section is provided as a courtesy and cannot be considered a substitute for reading the entire report. Please read the complete document.

[Priority Maintenance Items](#)

Exterior

ROOF DRAINAGE \ Flat roof drains

Condition: • [Clogged](#)

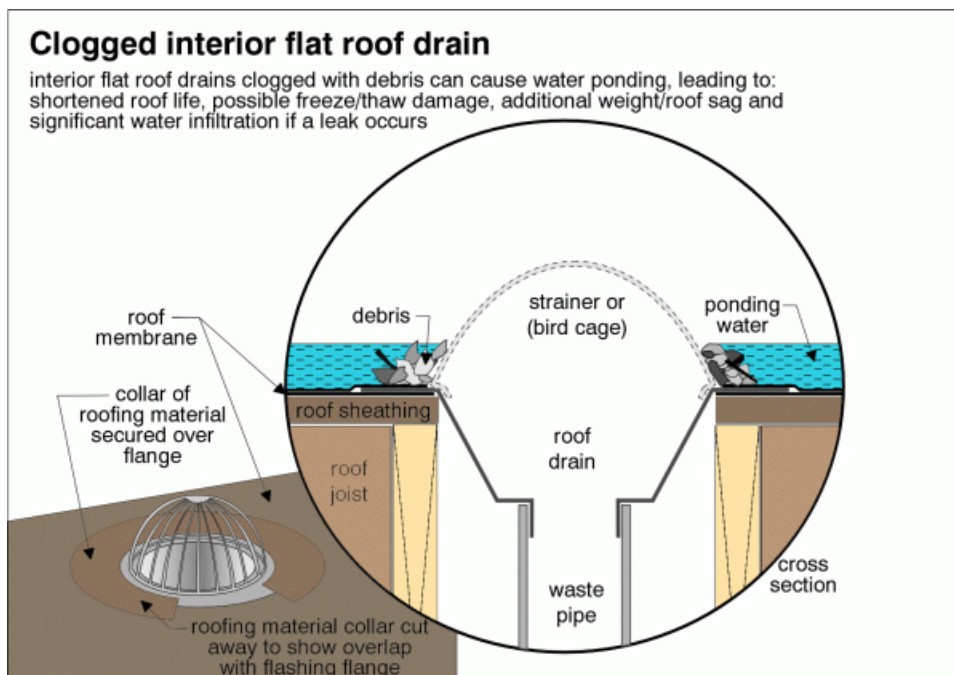
Debris noted to surface drains. Recommend cleaning, removal of debris for proper and adequate drainage.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: North Second Floor Patio

Task: Clean

Time: Regular maintenance



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1. Clogged



2. Clogged

WALLS \ Soffits and fascia

Condition: • [Rot or insect damage](#)

Signs of deterioration, dry rot, possible insect damage was noted. Recommend further evaluation by a licensed specialist.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Exterior

Task: Repair or replace

Time: Immediate

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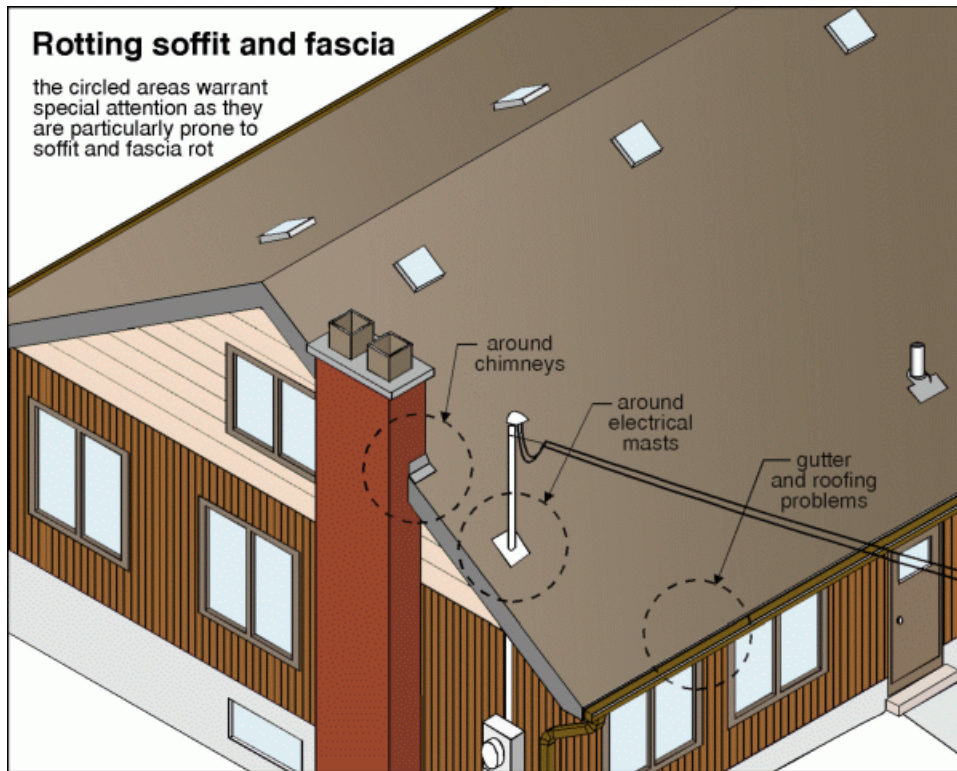
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3. Rot or insect damage



4. Rot or insect damage

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5. Rot or insect damage



6. Rot or insect damage



7. Rot or insect damage



8. Rot or insect damage

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9. Rot or insect damage



10. Rot or insect damage



11. Rot or insect damage



12. Rot or insect damage

WALLS \ Trim

Condition: • [Rot or insect damage](#)

Exterior trim was observed and evidence of deterioration, dry rot, possible insect damage was noted.

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Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate



13. Rot or insect damage

WALLS \ Wood siding

Condition: • [Rot or insect damage](#)

Signs of deterioration due to moisture, possible insect damage was noted. Recommend further evaluation by a licensed specialist.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate

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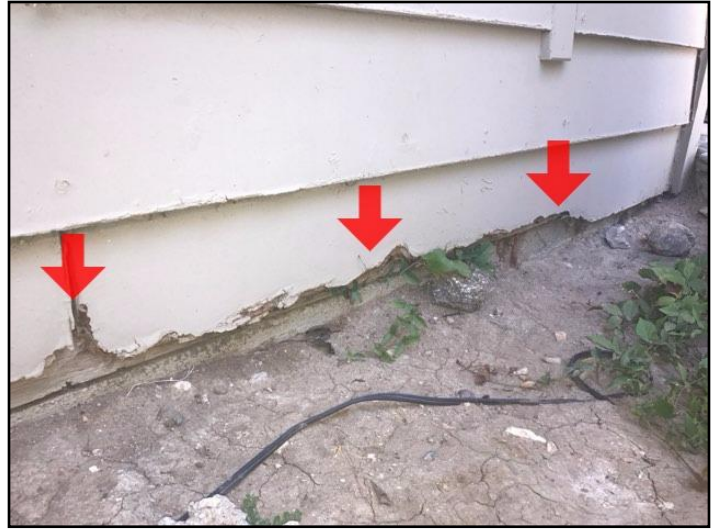
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14. Rot or insect damage



15. Rot or insect damage

EXTERIOR GLASS/WINDOWS \ Frames

Condition: • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to window wood trim. A licensed specialist is recommended to further evaluate.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate



16. Rot or insect damage



17. Rot or insect damage

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18. Rot or insect damage



19. Rot or insect damage



20. Rot or insect damage



21. Rot or insect damage

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22. Rot or insect damage

DOORS \ Doors and frames

Condition: • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to door.

Implication(s): Chance of damage to finishes and structure

Location: North Exterior

Task: Repair or replace

Time: Immediate



23. Rot or insect damage



24. Rot or insect damage

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Condition: • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to door frame.

Implication(s): Chance of damage to finishes and structure

Location: East Exterior

Task: Repair or replace

Time: Immediate



25. Rot or insect damage



26. Rot or insect damage

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

Condition: • [Rot](#)

Rot and/or insect damage noted. Wood to soil contact.

Implication(s): Weakened structure

Location: East Exterior Patio

Task: Repair or replace

Time: Immediate

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27. Rot

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

Condition: • [Rot or insect damage](#)

Signs of deterioration, rot noted. Recommend further evaluation by a licensed specialist.

Implication(s): Fall hazard

Location: North 2nd Floor Exterior Patio

Task: Repair or replace

Time: Immediate

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28. Rot or insect damage

LANDSCAPING \ Lot grading

Condition: • [Improper slope or drainage](#)

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior

Task: Improve

Time: Immediate

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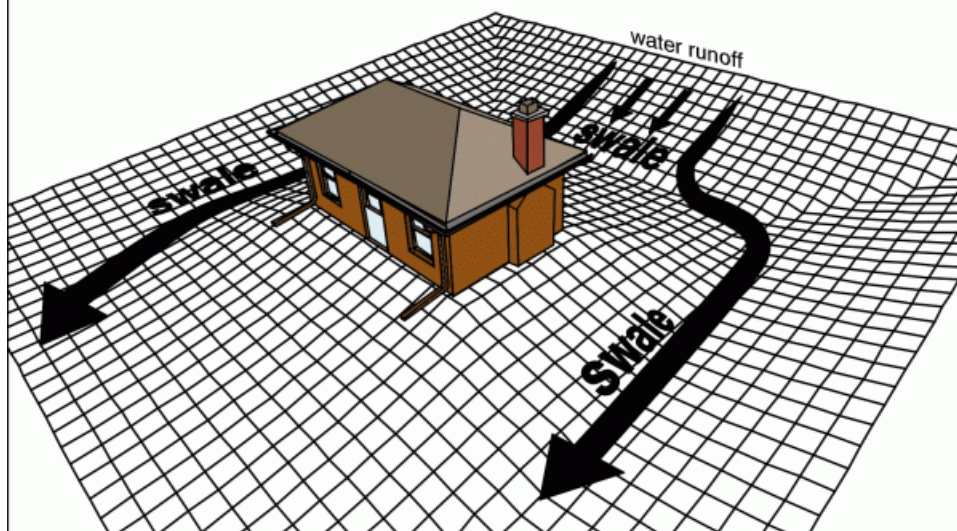
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Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



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29. Improper slope or drainage



30. Improper slope or drainage



31. Improper slope or drainage



32. Improper slope or drainage

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33. Improper slope or drainage

Structure

FOUNDATIONS \ General

Condition: • [Cracked](#)

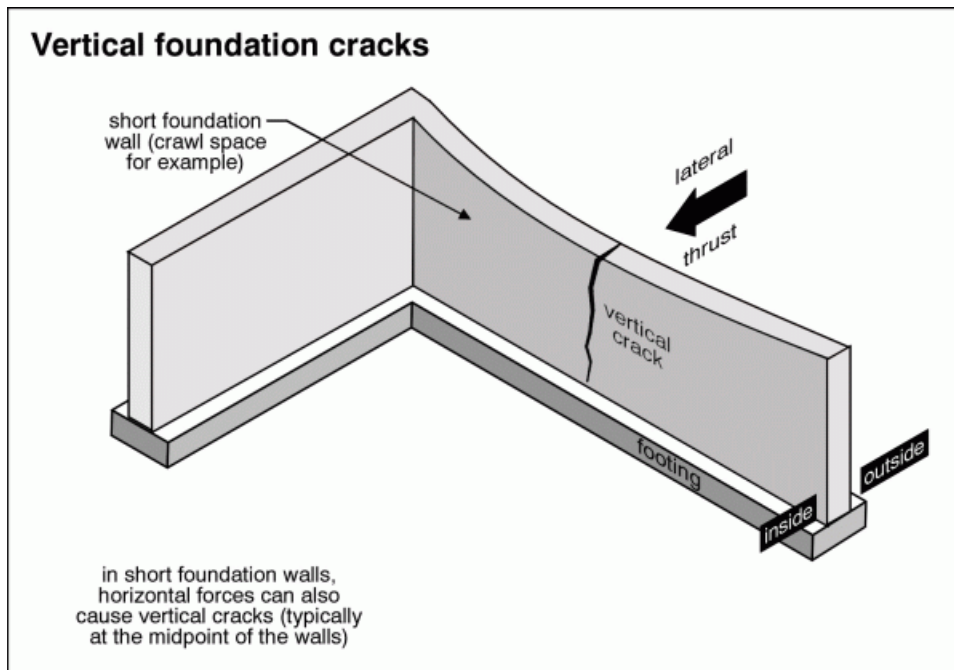
Signs of cracks were noted to foundation. A licensed specialist may be recommended to further evaluate.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

Location: West Exterior

Task: Further evaluation

Time: Immediate



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34. Cracked



35. Cracked

Condition: • [Cracked](#)

Chipped concrete noted to foundation. Recommend further evaluation by a licensed professional.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

Location: South Exterior

Task: Further evaluation

Time: Immediate



36. Cracked

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ROOF FRAMING \ Beams

Condition: • [Rot](#)

Signs of deterioration, rot, possible insect damage noted. Recommend further evaluation by a licensed specialist.

Implication(s): Chance of movement | Material deterioration

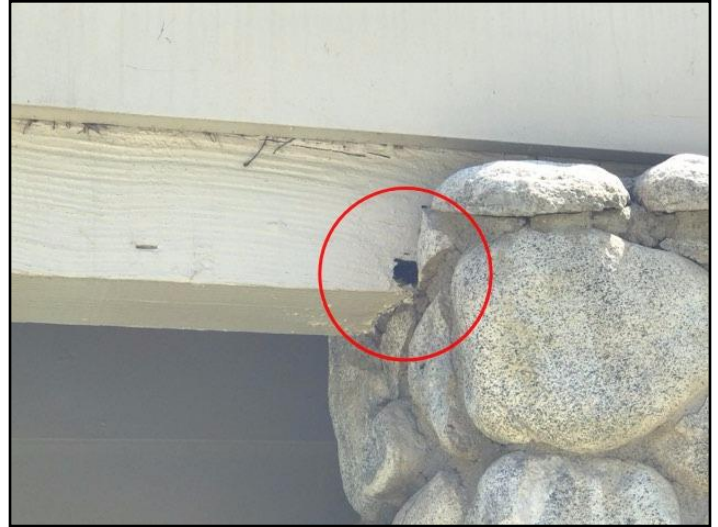
Location: South Exterior

Task: Repair or replace

Time: Immediate



37. Rot



38. Rot

Electrical

DISTRIBUTION SYSTEM \ Junction boxes

Condition: • [Missing, loose](#)

Loose junction box noted. Recommend properly securing and/or replacement. A licensed electrical specialist may be recommended to further evaluate.

Implication(s): Electric shock | Fire hazard

Location: Southeast Pool / Spa

Task: Correct

Time: Immediate

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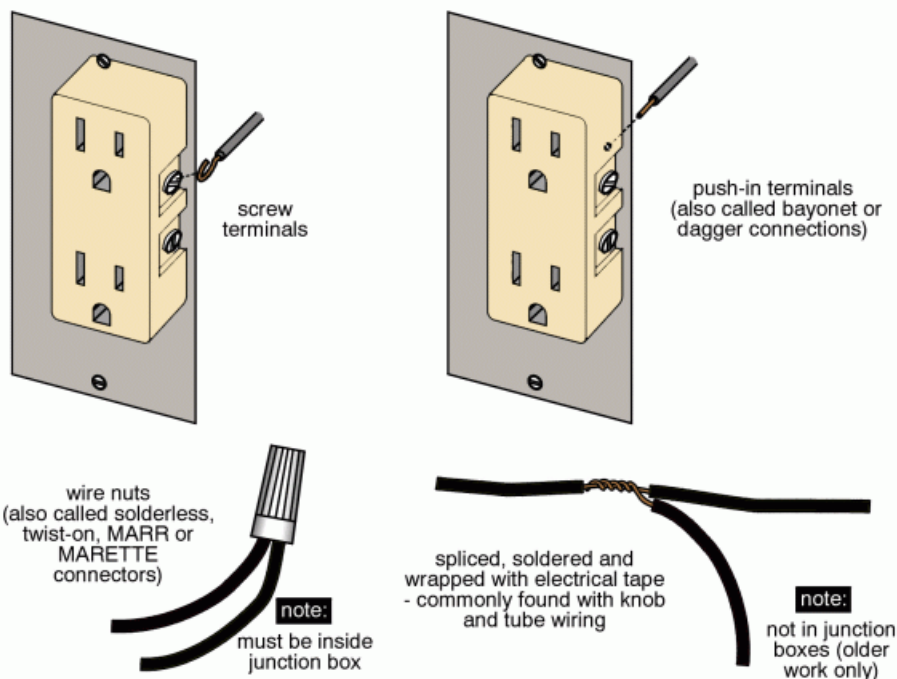
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Types of connections



39. Missing, loose

DISTRIBUTION SYSTEM \ Outlets (receptacles)

Condition: • [Inoperative](#)

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Non functional outlet was noted. A licensed electrical specialist may be recommended to further evaluate.

Implication(s): Equipment inoperative

Location: Kitchen

Task: Repair or replace

Time: Immediate



40. Inoperative

Condition: • [Ungrounded](#)

Outlet was functional at the time of the inspection, however, bad ground was noted. Test faulty on GFCI due to bad ground. A licensed electrical specialist may be recommended to further evaluate and estimate cost for repairs.

Implication(s): Electric shock

Location: Kitchen

Task: Repair or replace

Time: Immediate

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41. Ungrounded

DISTRIBUTION SYSTEM \ Cover plates

Condition: • [Missing](#)

Missing cover plate(s) noted. Recommend installing cover plates to prevent injuries from electrical shock.

Implication(s): Electric shock

Location: Garage

Task: Provide

Time: Immediate

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42. Missing



43. Missing

DISTRIBUTION SYSTEM \ Lights

Condition: • [Loose](#)

Loose surface mount lights noted. Recommend repairs.

Implication(s): Electric shock | Fire hazard

Location: Various Exterior Wall

Task: Repair

Time: Immediate

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44. Loose



45. Loose

DISTRIBUTION SYSTEM \ Smoke detectors

Condition: • [Inoperative](#)

Non functional smoke alarm noted. Recommend repairs and/or replacement.

Implication(s): Fire hazard

Location: Second Floor Hall

Task: Replace

Time: Immediate

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46. Inoperative

Cooling & Heat Pump

AIR CONDITIONING \ Condensate system

Condition: • [Pan overflowing](#)

Water pooling was noted at drip pan. Signs of poor drainage at condensation drain pipes. A licensed HVAC specialist is recommended to further evaluate.

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment

Location: Attic

Task: Further evaluation

Time: Immediate

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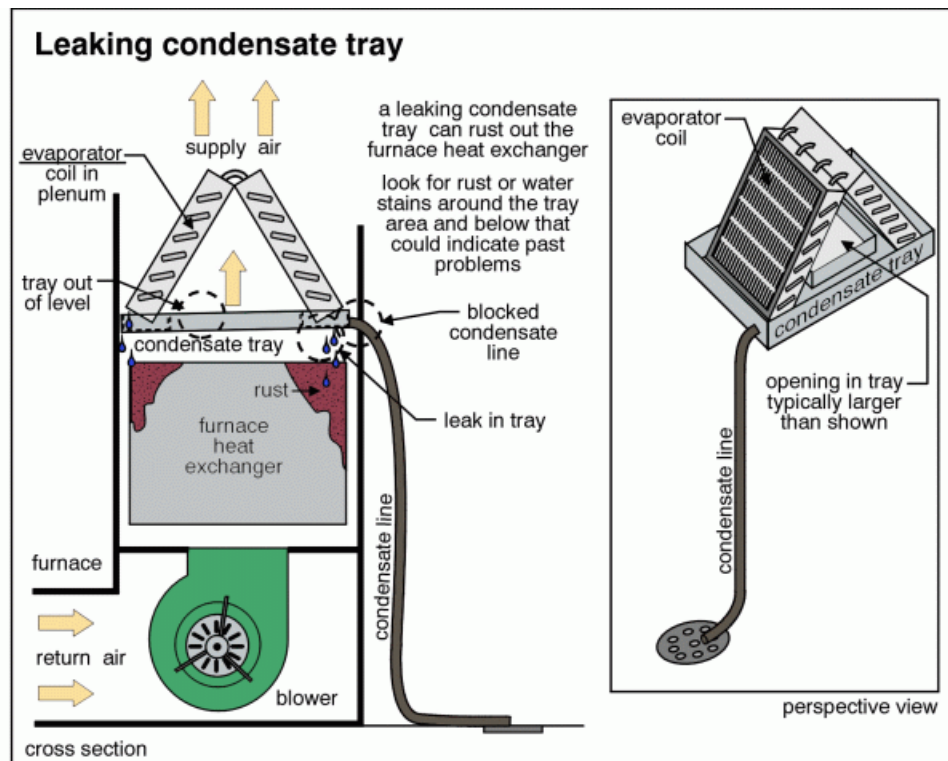
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47. Pan overflowing

AIR CONDITIONING \ Refrigerant lines

Condition: • [Insulation - missing](#)

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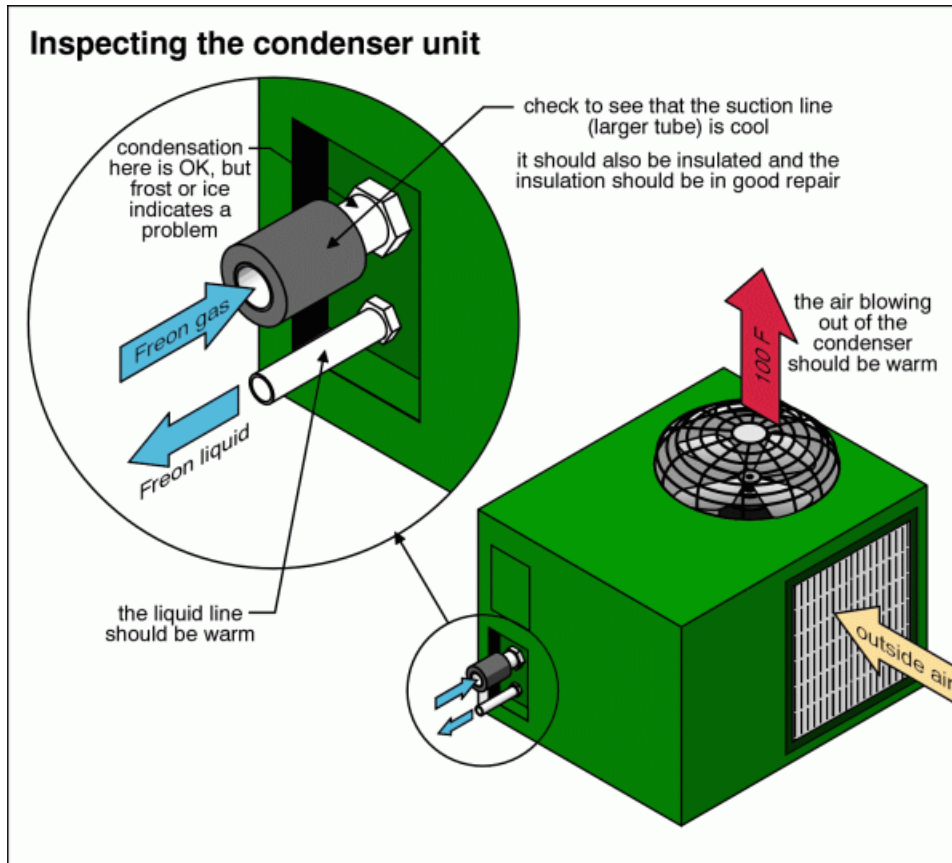
Missing insulation noted. Recommend installing insulation to prevent lines from freeze.

Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Location: North Exterior

Task: Provide

Time: When necessary



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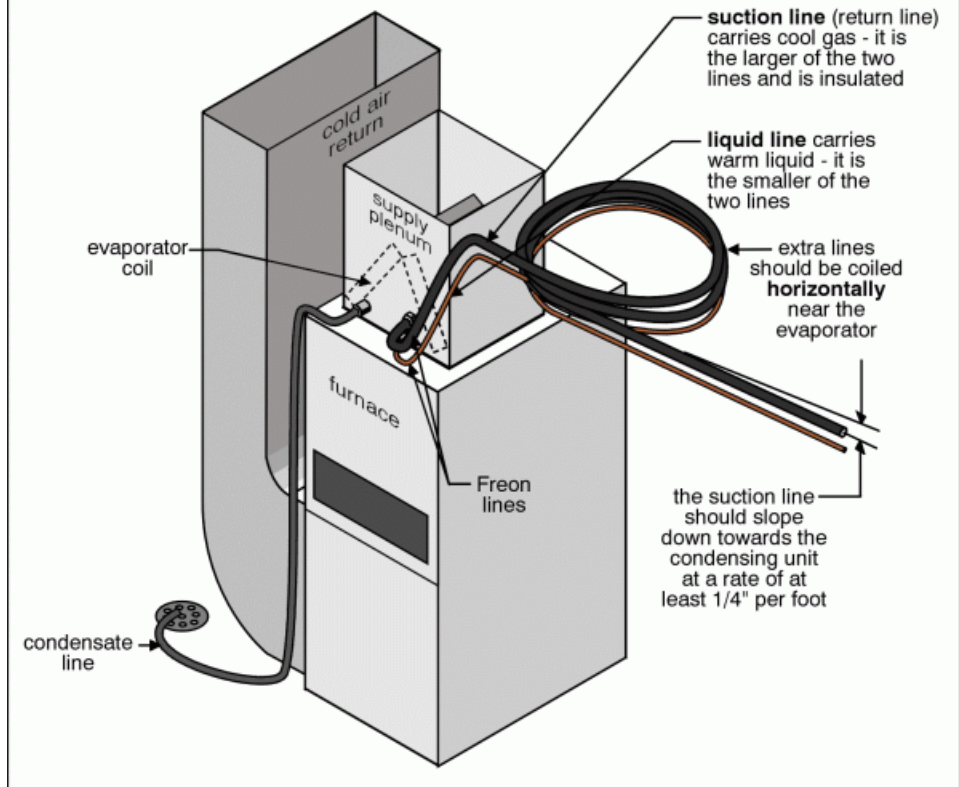
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Refrigerant lines



48. Insulation - missing



49. Insulation - missing

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Plumbing

FIXTURES AND FAUCETS \ Faucet

Condition: • [Loose](#)

Loose faucet noted.

Implication(s): Equipment failure

Location: First Floor Hallway Bathroom

Task: Repair or replace

Time: Immediate



50. Loose

FIXTURES AND FAUCETS \ Shower stall

Condition: • Cracked glass noted. Recommend repairs and/or replacement.

Location: Second Floor Master Bathroom

Task: Replace

Time: Immediate

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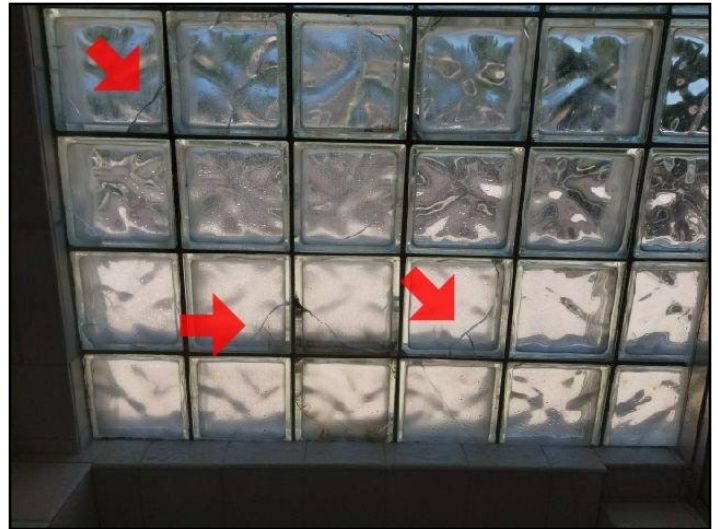
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51.



52.

Condition: • [Grout loose, missing or deteriorated](#)

Signs of missing caulking/grout noted. Suggest tub/shower edges, tiles be caulked and sealed to prevent moisture penetration. All missing, deteriorated/damaged caulking, grouting should be replaced, Failure to keep tub shower edges sealed can potentially cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of the inspection.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Second Floor Hallway Bathroom

Task: Repair

Time: Immediate



53. Grout loose, missing or deteriorated



54. Grout loose, missing or deteriorated

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Condition: • [Grout loose, missing or deteriorated](#)

Signs of missing caulking/grout noted. Suggest tub/shower edges, tiles be caulked and sealed to prevent moisture penetration. All missing, deteriorated/damaged caulking, grouting should be replaced, Failure to keep tub shower edges sealed can potentially cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of the inspection.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: First Floor Hallway Bathroom

Task: Repair

Time: Immediate



55. Grout loose, missing or deteriorated

POOL / SPA / HOT TUB \ General

Condition: • Surrounding deck/concrete cracked

Cracks were noted to concrete pool deck. Recommend sealing cracks to prevent from further expansion. If requested, a licensed specialist may be recommended to further evaluate.

Implication(s): Material deterioration | Equipment not operating properly | Physical injury

Location: Pool / Spa

Task: Further evaluation

Time: Immediate

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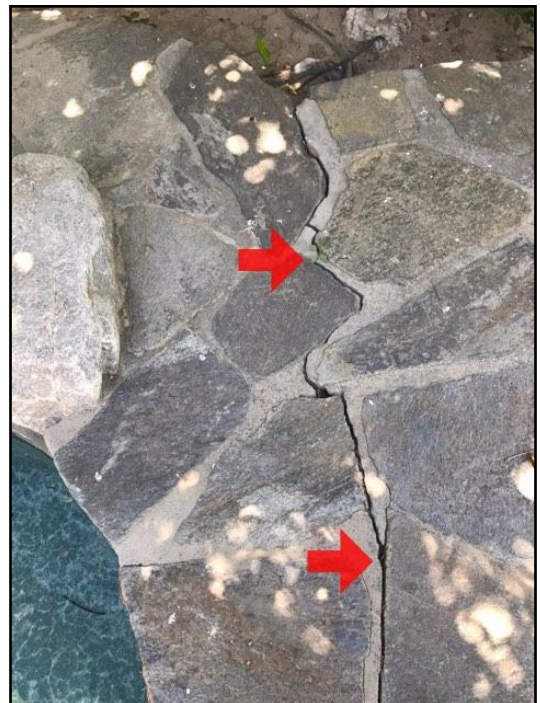
56. Surrounding deck/concrete cracked



57. Surrounding deck/concrete cracked



58. Surrounding deck/concrete cracked



59. Surrounding deck/concrete cracked

POOL / SPA / HOT TUB \ Mechanical

Condition: • Pump leaking

Leak noted at pool pump. A licensed pool specialist is recommended to further evaluate.

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Implication(s): Reduced operability

Location: Pool / Spa

Task: Repair

Time: Immediate



60. Pump leaking



61. Pump leaking

Interior

CEILINGS \ General

Condition: • Stains

Signs of water/moisture stains were noted to ceiling. Recommend monitoring. A licensed specialist may be recommended to further evaluate.

Location: Second Floor Bedroom

Task: Further evaluation, Seller disclose

Time: Immediate

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62. Stains

Condition: • Water stains

Ceiling was observed and evidence of deterioration/bubbling surface was noted. A licensed specialist may be recommended to further evaluate.

Location: Second Floor Bedroom

Task: Further evaluation, Seller disclose

Time: Immediate



63. Water stains



64. Water stains

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65. Water stains

Condition: • Water stains

Signs of water stains, deterioration was noted. Recommend further evaluation by a licensed specialist. Recommend seller disclose.

Location: Second Floor Staircase, Living room

Task: Further evaluation

Time: Immediate



66. Water stains



67. Water stains

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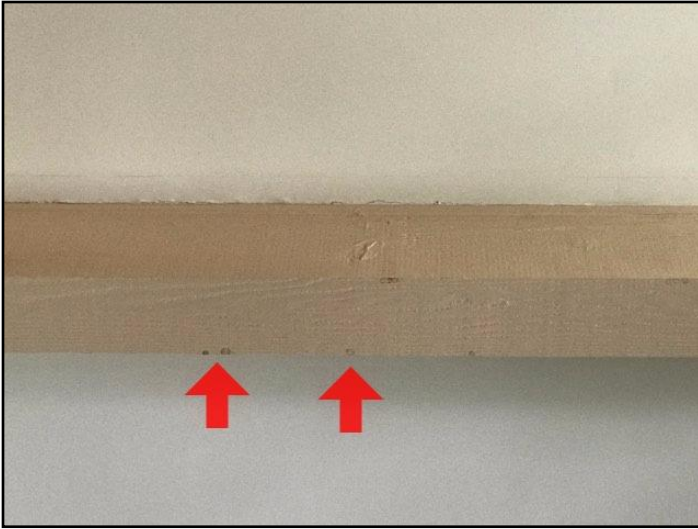
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68. Water stains



69. Water stains

Condition: • Water stains

Signs of water stains was noted to ceiling. Master bathroom at 2nd floor is above the area where the moisture stains were noted. Recommend further evaluation by a licensed specialist. Recommend seller disclose.

Location: Garage

Task: Monitor Request disclosure

Time: Immediate



70. Water stains

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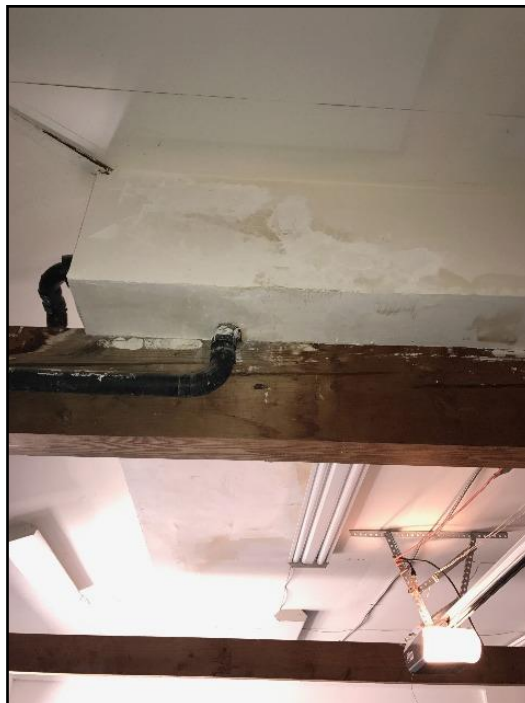
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71. Water stains



72. Water stains

FLOORS \ Ceramic tile, stone, marble, etc

Condition: • [Tiles cracked](#)

Cracked tiles noted

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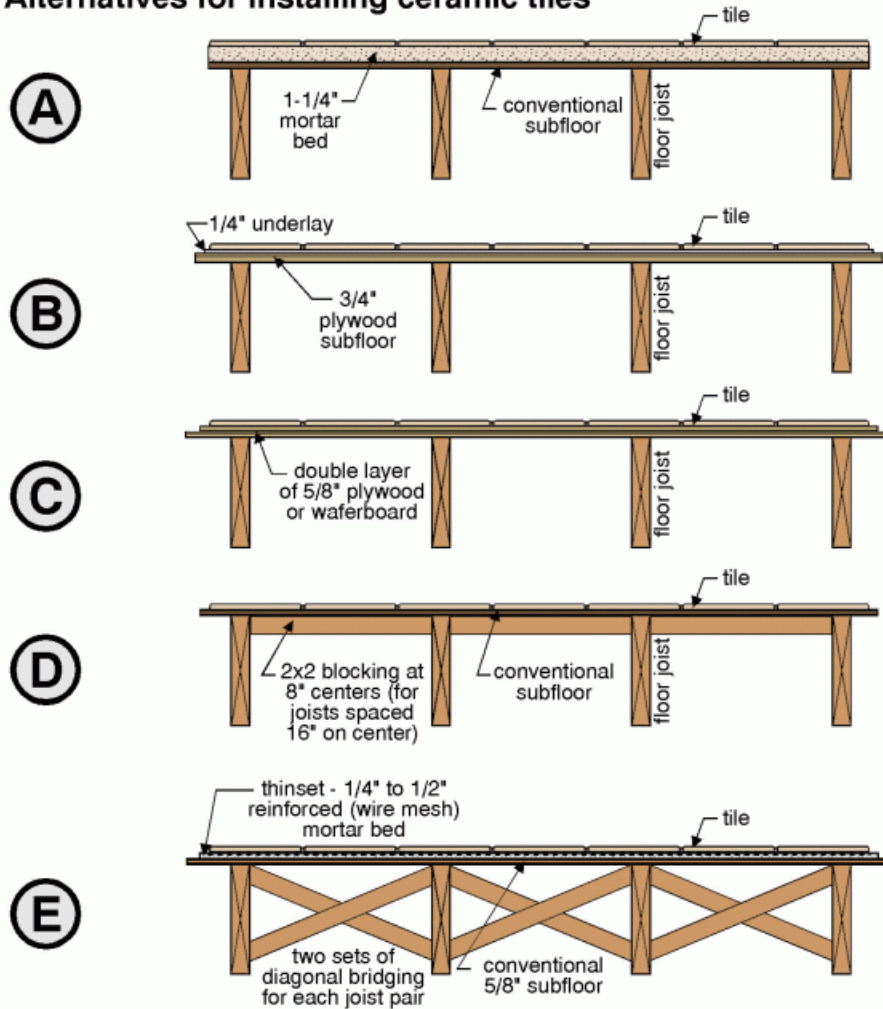
Implication(s): Trip or fall hazard

Location: Second Floor Hallway Bathroom

Task: Repair or replace

Time: Immediate

Alternatives for installing ceramic tiles



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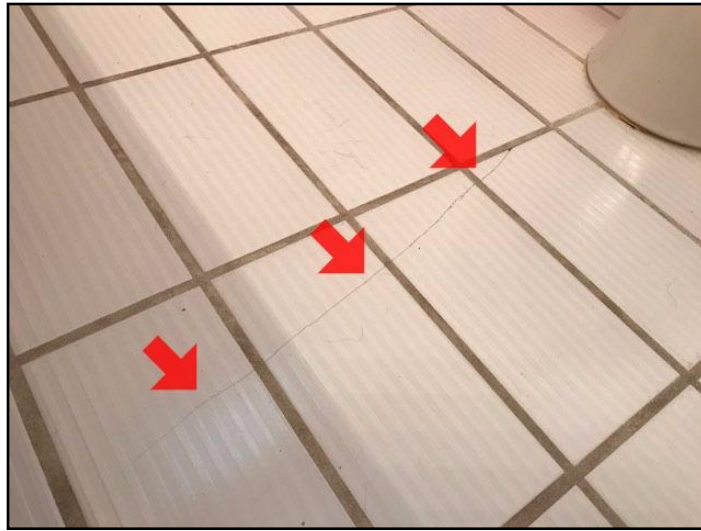
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73. Tiles cracked

WINDOWS \ General

Condition: • Difficult to operate

Difficult to operate. Hard operation was noted to window. Recommend repairs for ease of operation.

Implication(s): System inoperative or difficult to operate

Location: Various First Floor Kitchen

Task: Improve, Correct

Time: Immediate



74. Difficult to operate

WINDOWS \ Frames

Condition: • Gaps noted. Recommended sealing and/or caulking.

Location: First Floor Living Room

Task: Correct

Time: Immediate

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75.



76.

WINDOWS \ Hardware

Condition: • [Inoperative](#)

Inoperable windows noted. Recommend repairs for ease of operation.

Implication(s): System inoperative or difficult to operate

Location: First Floor Living Room

Task: Repair or replace

Time: Immediate

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77. Inoperative

Condition: • [Inoperative](#)

Inoperable windows noted. Recommend repairs for ease of operation.

Implication(s): System inoperative or difficult to operate

Location: Bedrooms

Task: Repair, Further evaluation

Time: Immediate

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78. Inoperative



79. Inoperative



80. Inoperative



81. Inoperative

DOORS \ Doors and frames

Condition: • Does not latch properly

Door locking mechanism was not fully functional. Locking mechanism does not latch. Recommend repairs.

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Implication(s): System inoperative or difficult to operate

Location: Second Floor Hallway Bathroom

Task: Repair

Time: Immediate



82. Does not latch properly

CARPENTRY \ Countertops

Condition: • [Grout loose or missing](#)

Missing grout noted. Recommend repairs to prevent deterioration to cabinet or walls from water moisture intrusion.

Implication(s): Hygiene issue

Location: Second Floor Master Bathroom

Task: Provide

Time: Immediate

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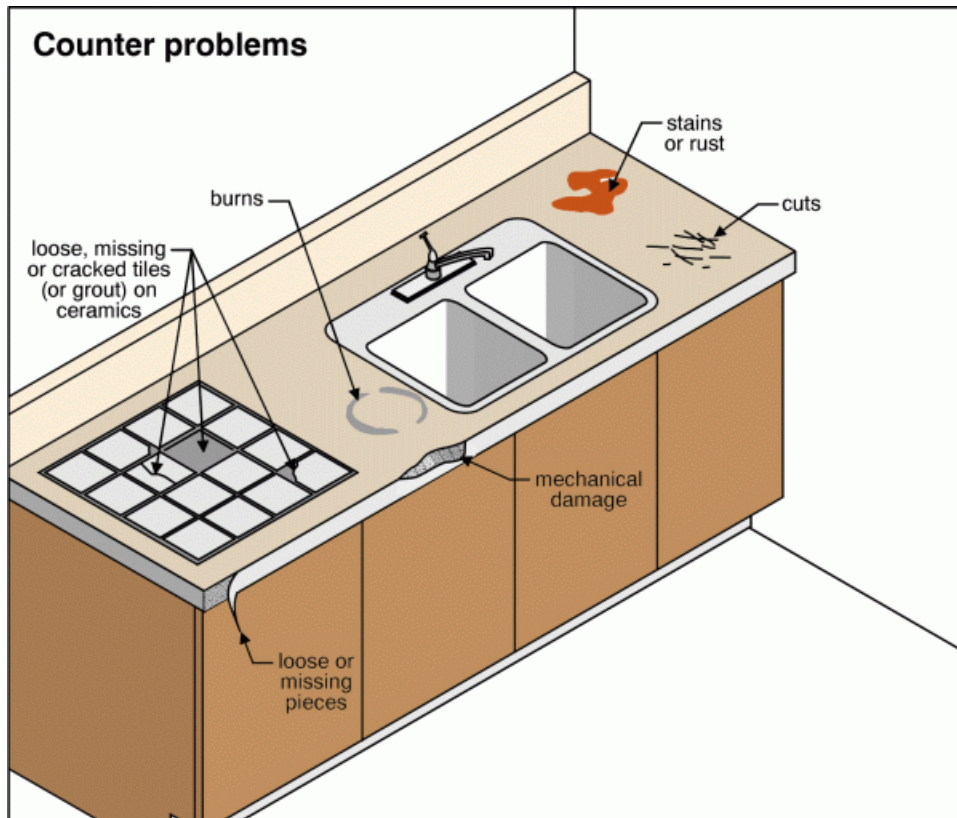
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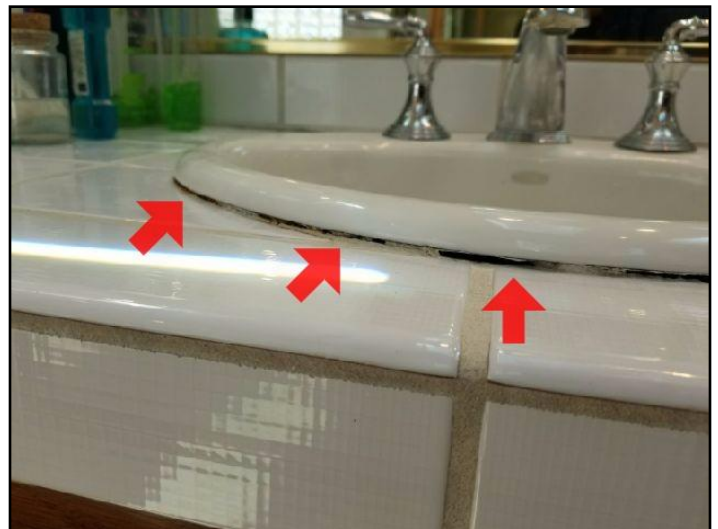
PLUMBING

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83. Grout loose or missing



84. Grout loose or missing

EXHAUST FANS \ General

Condition: • [Inoperative](#)

Non functional exhaust fan noted.

Implication(s): Chance of condensation damage to finishes and/or structure

Location: First Floor Hallway Bathroom

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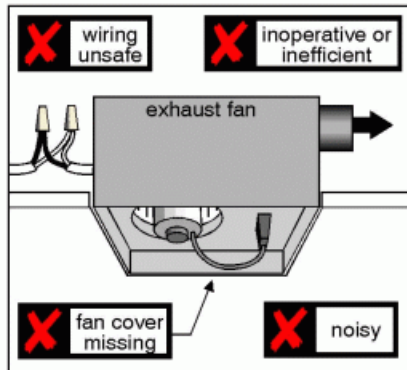
INTERIOR

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Task: Repair or replace

Time: Immediate

Exhaust fan conditions



85. Inoperative

GARAGE \ Door between garage and living space

Condition: • [No self closer](#)

Garage door between garage and kitchen was not auto closing. Recommend repairs.

Implication(s): Hazardous combustion products entering home

Location: Garage

Task: Provide

Time: Immediate

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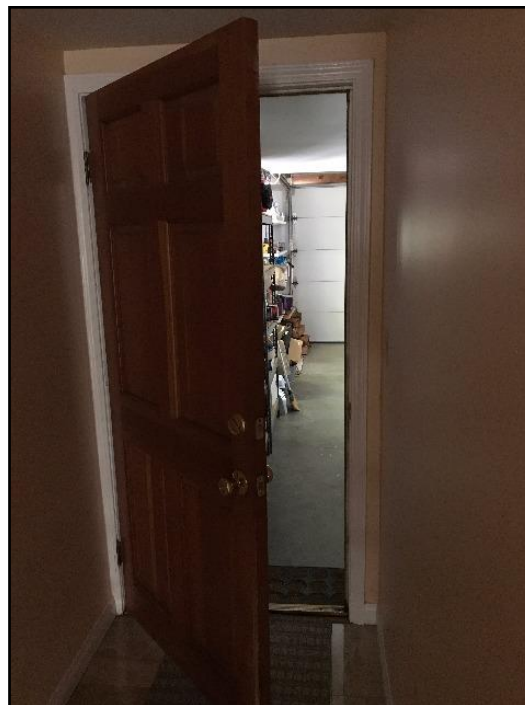
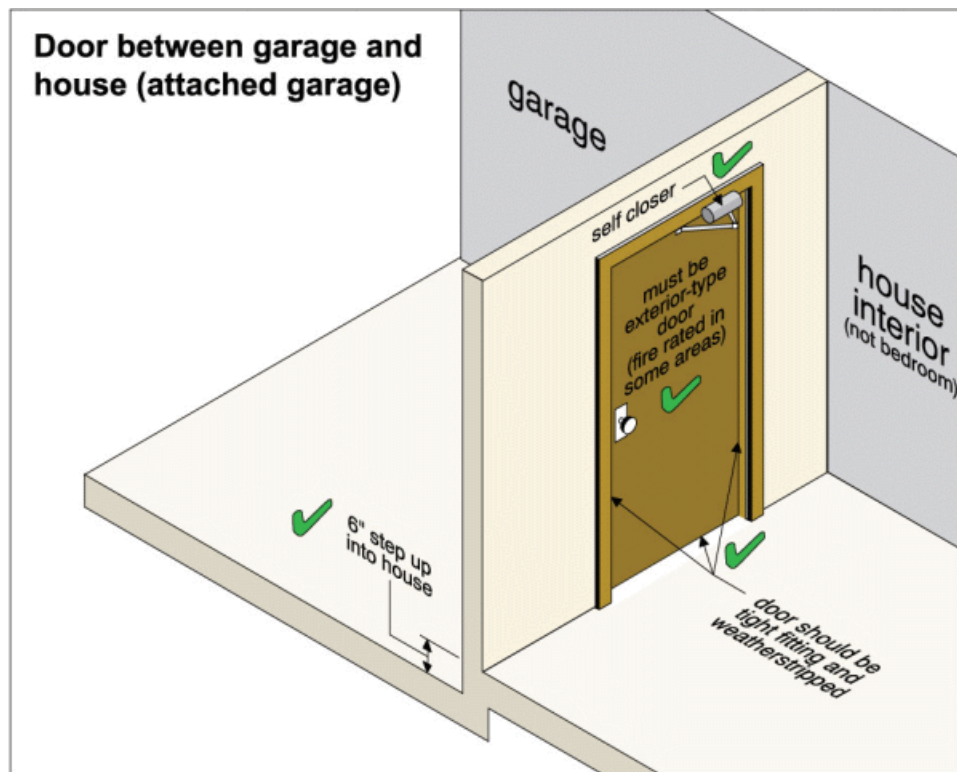
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86. No self closer

GARAGE \ Vehicle door operators

Condition: • Sensors inoperative

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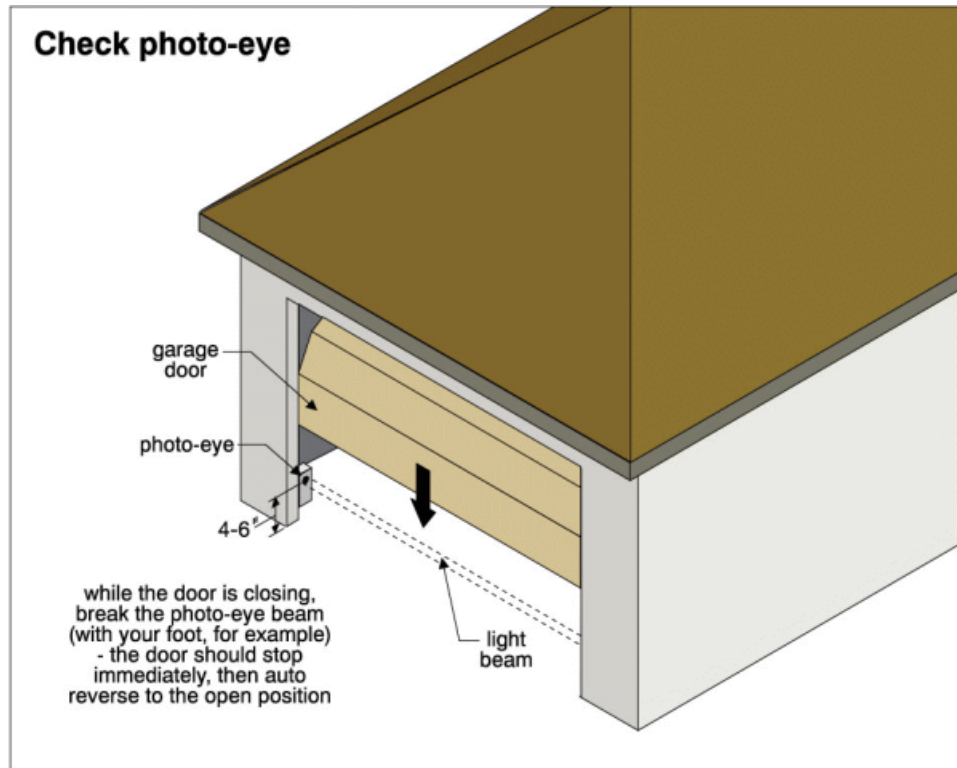
No garage door sensors were present. This is considered a safety hazard and requires installation of sensors.

Implication(s): Physical injury

Location: Garage

Task: Provide

Time: Immediate



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87. *Sensors inoperative*



88. *Sensors inoperative*

This concludes the Summary section.

The remainder of the report describes each of the home's systems and also details any recommendations we have for improvements. Limitations that restricted our inspection are included as well.

The suggested time frames for completing recommendations are based on the limited information available during a pre-purchase home inspection. These may have to be adjusted based on the findings of specialists.

[Home Improvement - ballpark costs](#)

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Description

Sloped roofing material: • [Concrete tile](#)

Limitations

Roof inspection limited/prevented by: • Fragile Roof Tiles

Inspection performed: • From the ground

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

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Description

Gutter & downspout material: • [Aluminum](#)

Lot slope: • [Flat](#)

Wall surfaces and trim: • [Stucco](#) • [Hardboard, plywood or OSB](#)

Wall surfaces - masonry: • [Artificial stone](#)

Driveway: • Concrete

Limitations

Inspection limited/prevented by:

- Vines/shrubs/trees against wall



89. Vines/shrubs/trees against wall

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

ROOF DRAINAGE \ Flat roof drains

1. Condition: • [Clogged](#)

Debris noted to surface drains. Recommend cleaning, removal of debris for proper and adequate drainage.

Implication(s): Chance of water damage to contents, finishes and/or structure

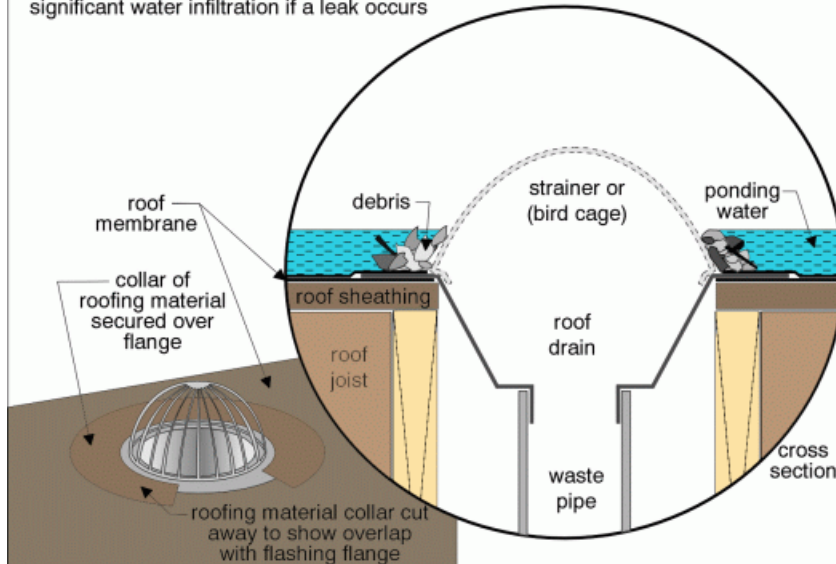
Location: North Second Floor Patio

Task: Clean

Time: Regular maintenance

Clogged interior flat roof drain

interior flat roof drains clogged with debris can cause water ponding, leading to: shortened roof life, possible freeze/thaw damage, additional weight/roof sag and significant water infiltration if a leak occurs



90. Clogged



91. Clogged

WALLS \ Soffits and fascia

2. Condition: • [Rot or insect damage](#)

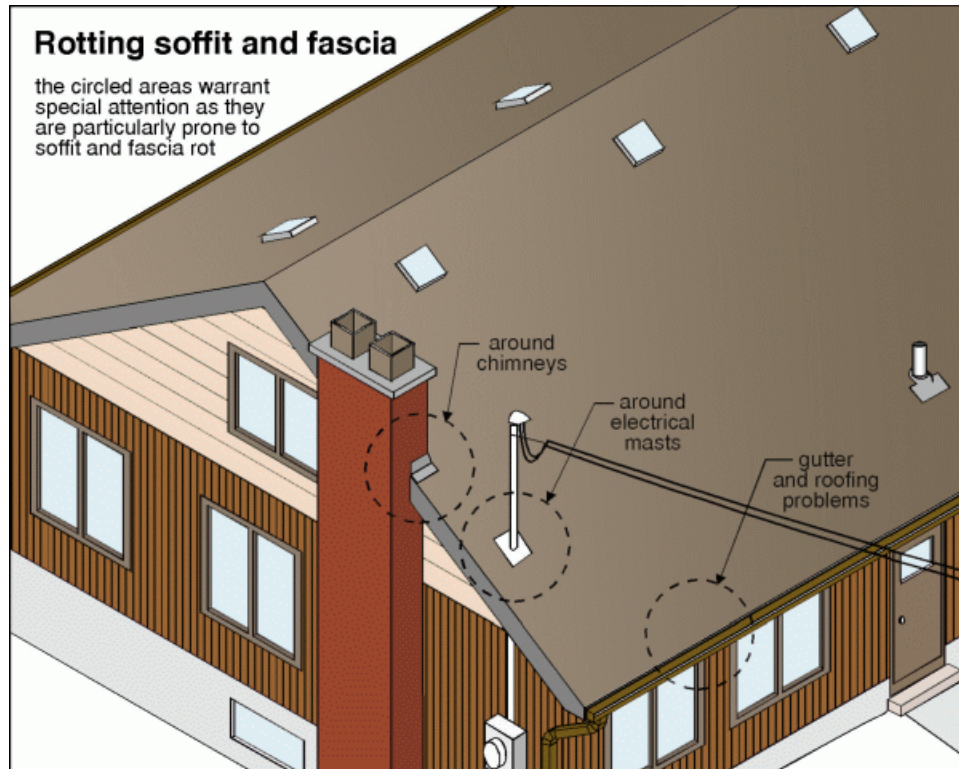
Signs of deterioration, dry rot, possible insect damage was noted. Recommend further evaluation by a licensed specialist.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Exterior

Task: Repair or replace

Time: Immediate



92. Rot or insect damage



93. Rot or insect damage

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94. Rot or insect damage



95. Rot or insect damage



96. Rot or insect damage



97. Rot or insect damage

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98. Rot or insect damage



99. Rot or insect damage



100. Rot or insect damage



101. Rot or insect damage

WALLS \ Trim

3. Condition: • [Rot or insect damage](#)

Exterior trim was observed and evidence of deterioration, dry rot, possible insect damage was noted.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate



102. *Rot or insect damage*

WALLS \ Wood siding

4. Condition: • [Rot or insect damage](#)

Signs of deterioration due to moisture, possible insect damage was noted. Recommend further evaluation by a licensed specialist.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate

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103. Rot or insect damage



104. Rot or insect damage

EXTERIOR GLASS/WINDOWS \ Frames

5. Condition: • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to window wood trim. A licensed specialist is recommended to further evaluate.

Implication(s): Chance of water damage to contents, finishes and/or structure | Material deterioration

Location: Various Exterior Wall

Task: Repair or replace

Time: Immediate



105. Rot or insect damage



106. Rot or insect damage



107. Rot or insect damage



108. Rot or insect damage



109. Rot or insect damage



110. Rot or insect damage



111. Rot or insect damage

DOORS \ Doors and frames

6. Condition: • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to door.

Implication(s): Chance of damage to finishes and structure

Location: North Exterior

Task: Repair or replace

Time: Immediate



112. Rot or insect damage



113. Rot or insect damage

7. Condition: • [Rot or insect damage](#)

Signs of deterioration, possible insect damage was noted to door frame.

Implication(s): Chance of damage to finishes and structure

Location: East Exterior

Task: Repair or replace

Time: Immediate



114. Rot or insect damage



115. Rot or insect damage

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ General

8. Condition: • [Rot](#)

Rot and/or insect damage noted. Wood to soil contact.

Implication(s): Weakened structure

Location: East Exterior Patio

Task: Repair or replace

Time: Immediate



116. Rot

PORCHES, DECKS, STAIRS, PATIOS AND BALCONIES \ Handrails and guards

9. Condition: • [Rot or insect damage](#)

Signs of deterioration, rot noted. Recommend further evaluation by a licensed specialist.

Implication(s): Fall hazard

Location: North 2nd Floor Exterior Patio

Task: Repair or replace

Time: Immediate

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117. Rot or insect damage

LANDSCAPING \ Lot grading

10. Condition: • [Improper slope or drainage](#)

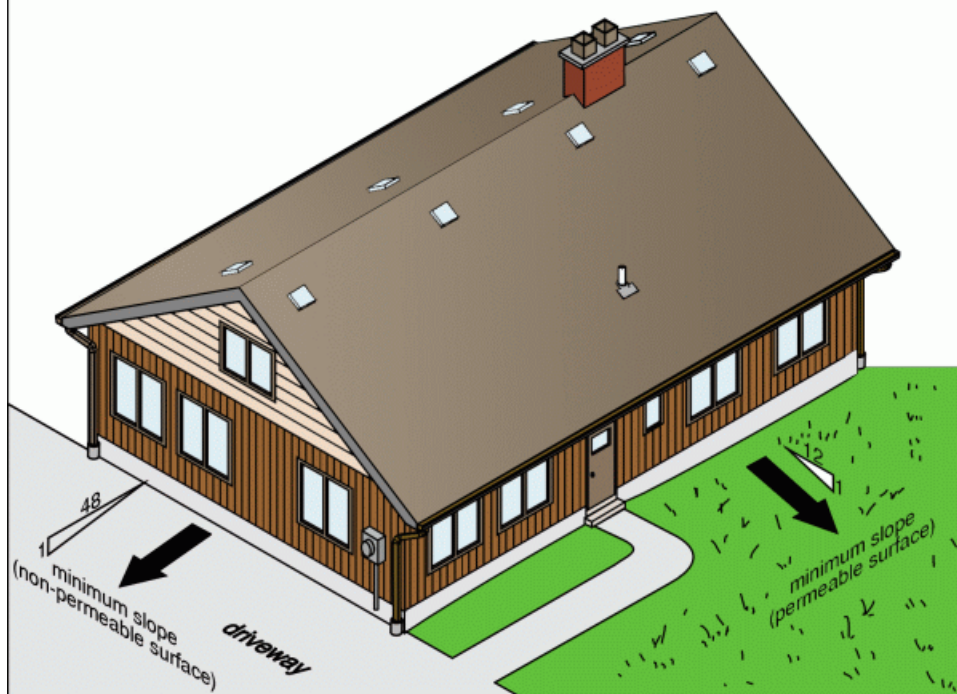
Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Various Exterior

Task: Improve

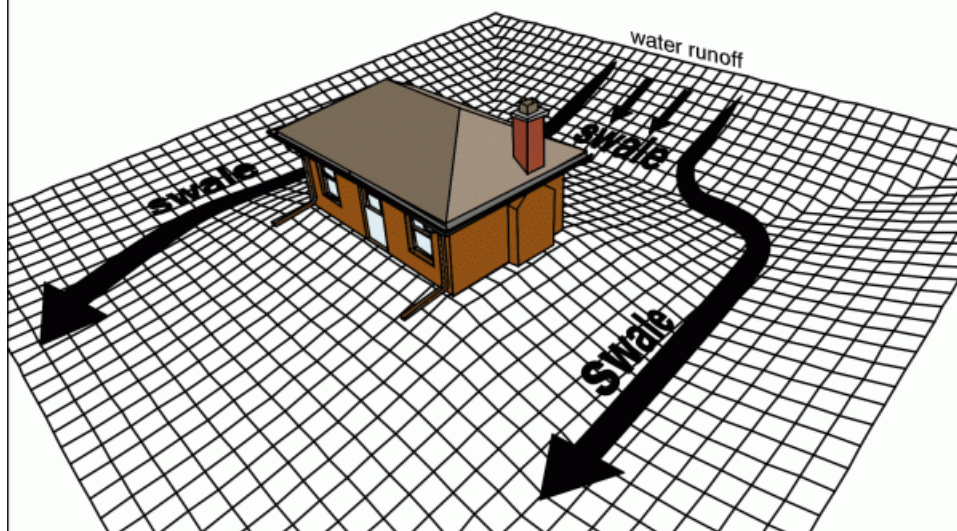
Time: Immediate

Recommended grading slopes



Swales

when the overall lot drainage is toward the house, swales can be used to direct surface water away from the foundation



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118. Improper slope or drainage



119. Improper slope or drainage



120. Improper slope or drainage



121. Improper slope or drainage

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122. *Improper slope or drainage*

Description

Configuration: • [Slab-on-grade](#)

Foundation material: • [Poured concrete](#)

Exterior wall construction: • [Wood frame](#)

Roof and ceiling framing: • Rafters • [Plywood sheathing](#)

Limitations

Not included as part of a building inspection: • Visible mold evaluation is not included in the building inspection report

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

FOUNDATIONS \ General

11. Condition: • [Cracked](#)

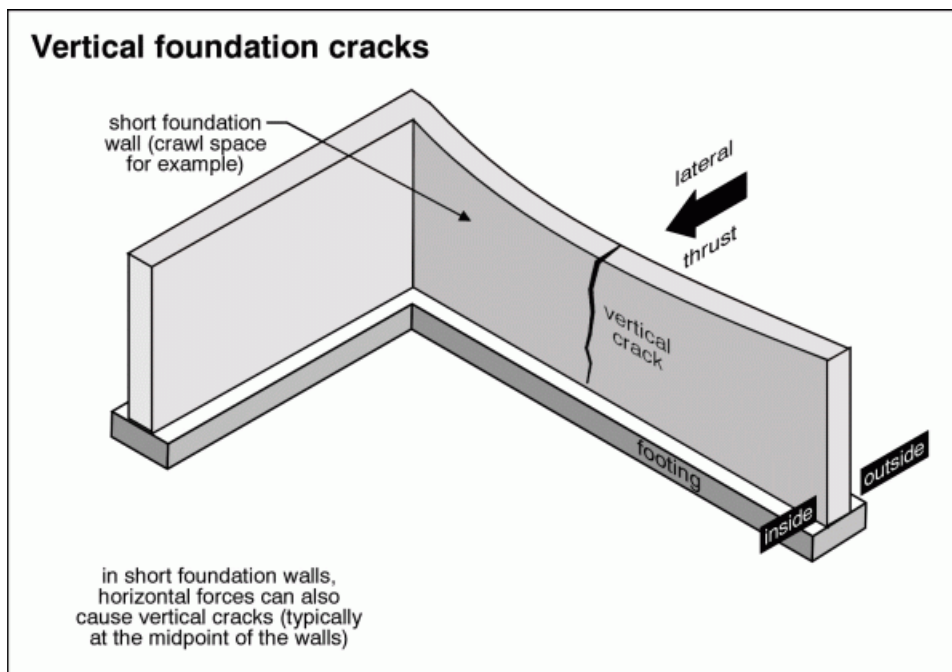
Signs of cracks were noted to foundation. A licensed specialist may be recommended to further evaluate.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

Location: West Exterior

Task: Further evaluation

Time: Immediate





123. Cracked



124. Cracked

12. Condition: • [Cracked](#)

Chipped concrete noted to foundation. Recommend further evaluation by a licensed professional.

Implication(s): Chance of water damage to contents, finishes and/or structure | Weakened structure

Location: South Exterior

Task: Further evaluation

Time: Immediate



125. Cracked

ROOF FRAMING \ Beams**13. Condition:** • [Rot](#)

Signs of deterioration, rot, possible insect damage noted. Recommend further evaluation by a licensed specialist.

Implication(s): Chance of movement | Material deterioration

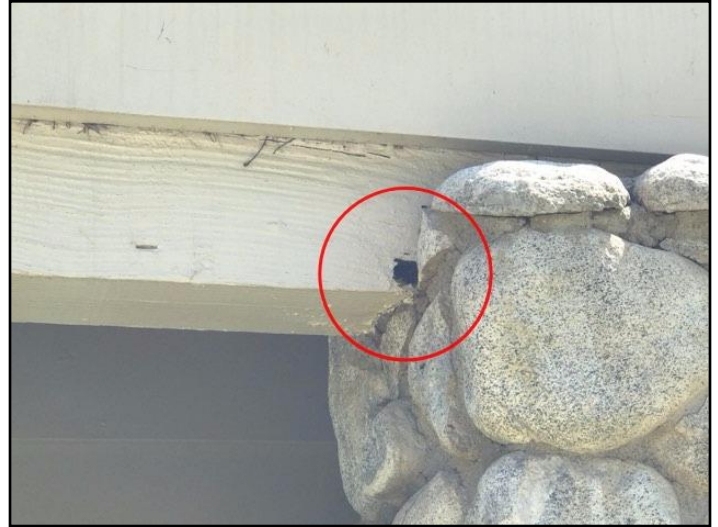
Location: South Exterior

Task: Repair or replace

Time: Immediate



126. Rot



127. Rot

Description

Service entrance cable and location: • [Underground - cable material not visible](#)

Main disconnect/service box rating: • [200 Amps](#)

Main disconnect/service box type and location: • [Breakers -exterior wall](#)

System grounding material and type: • Grounding Rod

Limitations

System ground: • Quality of ground not determined

Recommendations

DISTRIBUTION SYSTEM \ Junction boxes

14. Condition: • [Missing, loose](#)

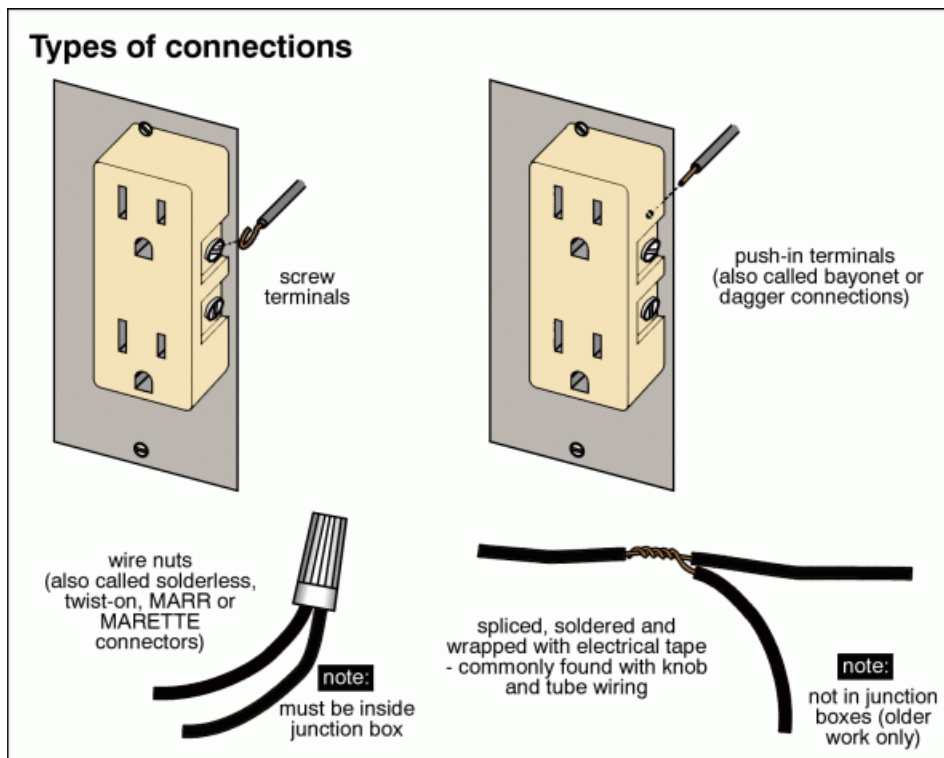
Loose junction box noted. Recommend properly securing and/or replacement. A licensed electrical specialist may be recommended to further evaluate.

Implication(s): Electric shock | Fire hazard

Location: Southeast Pool / Spa

Task: Correct

Time: Immediate





128. Missing, loose

DISTRIBUTION SYSTEM \ Outlets (receptacles)

15. Condition: • [Inoperative](#)

Non functional outlet was noted. A licensed electrical specialist may be recommended to further evaluate.

Implication(s): Equipment inoperative

Location: Kitchen

Task: Repair or replace

Time: Immediate



129. Inoperative

16. Condition: • [Ungrounded](#)

Outlet was functional at the time of the inspection, however, bad ground was noted. Test faulty on GFCI due to bad ground. A licensed electrical specialist may be recommended to further evaluate and estimate cost for repairs.

Implication(s): Electric shock

Location: Kitchen

Task: Repair or replace

Time: Immediate



130. Ungrounded

DISTRIBUTION SYSTEM \ Cover plates

17. Condition: • [Missing](#)

Missing cover plate(s) noted. Recommend installing cover plates to prevent injuries from electrical shock.

Implication(s): Electric shock

Location: Garage

Task: Provide

Time: Immediate



131. Missing



132. Missing

DISTRIBUTION SYSTEM \ Lights

18. Condition: • [Loose](#)

Loose surface mount lights noted. Recommend repairs.

Implication(s): Electric shock | Fire hazard

Location: Various Exterior Wall

Task: Repair

Time: Immediate



133. Loose



134. Loose

DISTRIBUTION SYSTEM \ Smoke detectors

19. Condition: • [Inoperative](#)

Non functional smoke alarm noted. Recommend repairs and/or replacement.

Implication(s): Fire hazard

Location: Second Floor Hall

Task: Replace

Time: Immediate



135. Inoperative

Description

System type: • [Furnace](#)

Fuel/energy source: • [Gas](#)

Furnace manufacturer: • Day & Night



136. Day & Night



137. Day & Night

Heat distribution: • [Ducts and registers](#)

Approximate capacity: • [80,000 BTU/hr](#)

Approximate age: • 25 - 35 Yrs.

Main fuel shut off at: • Near furnace

Limitations

Inspection prevented/limited by: • Chimney interiors and flues are not inspected

Heat loss calculations: • Not done as part of a building inspection

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Description

Air conditioning type: • [Air cooled](#)

Manufacturer: • Day & Night



138.

Cooling capacity: • 3 Tons

Compressor approximate age: • 10-15 Years

Failure probability: • No probable signs noted

Limitations

Heat gain calculations: • Not done as part of a building inspection

Heat gain/loss calculations: • Not done as part of a building inspection

Not part of a home inspection: • Home inspectors cannot typically access or inspect the indoor coil • Home inspectors do not verify that the size of the indoor coil matches the outdoor coil

Recommendations

AIR CONDITIONING \ Condensate system

20. Condition: • [Pan overflowing](#)

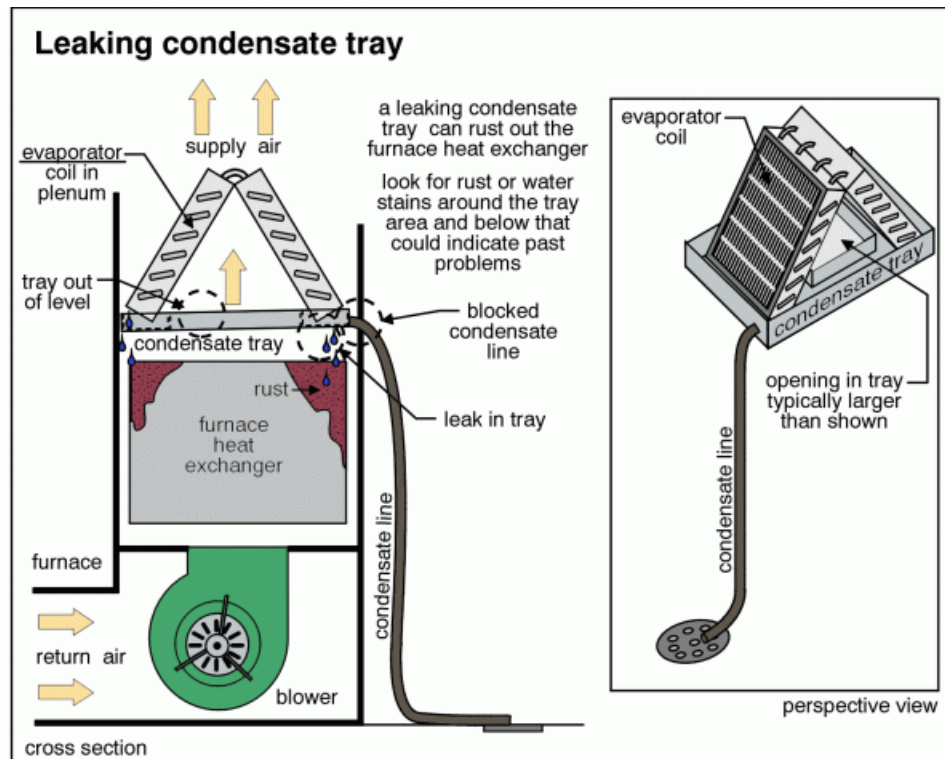
Water pooling was noted at drip pan. Signs of poor drainage at condensation drain pipes. A licensed HVAC specialist is recommended to further evaluate.

Implication(s): Chance of water damage to contents, finishes and/or structure | Damage to equipment

Location: Attic

Task: Further evaluation

Time: Immediate





139. Pan overflowing

AIR CONDITIONING \ Refrigerant lines

21. Condition: • [Insulation - missing](#)

Missing insulation noted. Recommend installing insulation to prevent lines from freeze.

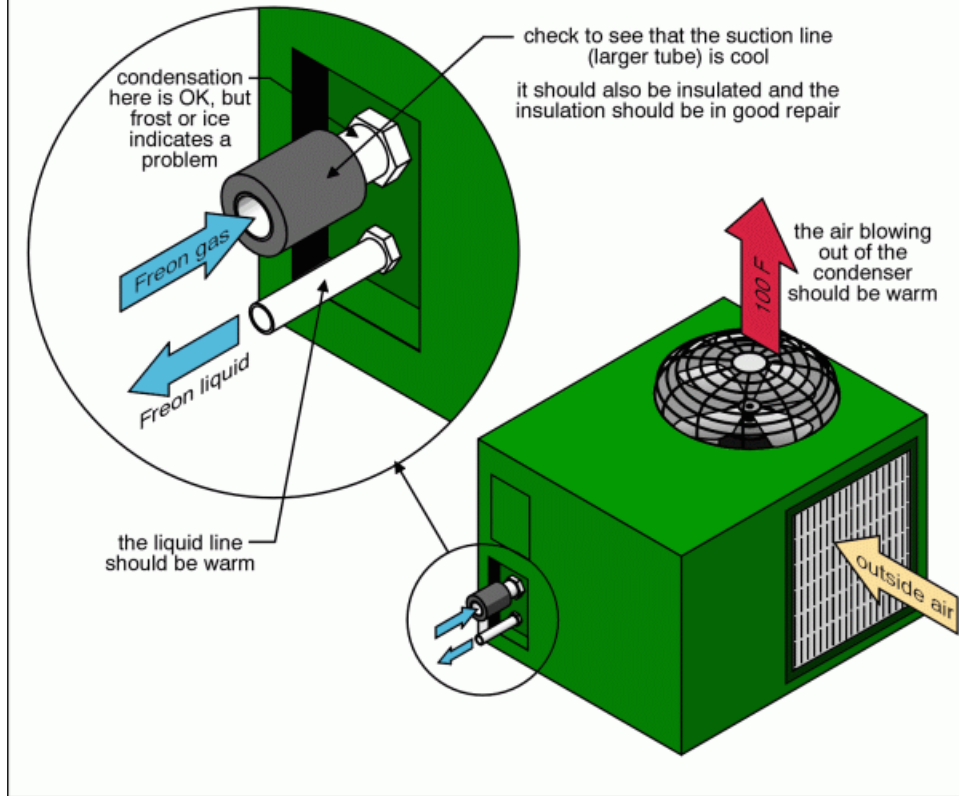
Implication(s): Reduced system life expectancy | Increased cooling costs | Reduced comfort

Location: North Exterior

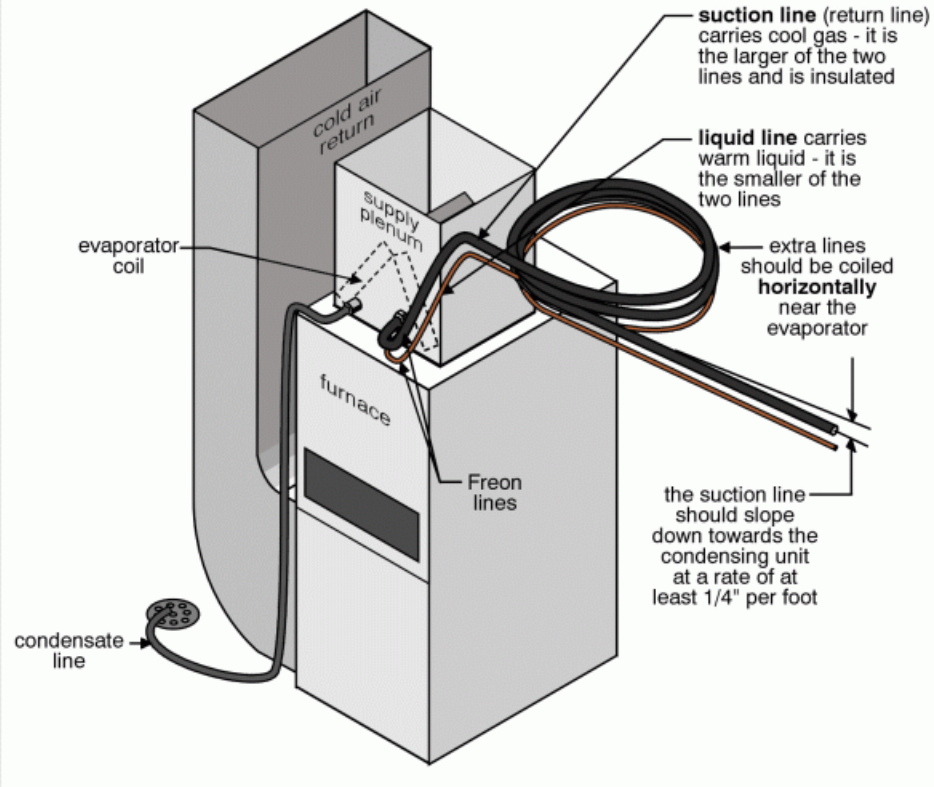
Task: Provide

Time: When necessary

Inspecting the condenser unit



Refrigerant lines



140. Insulation - missing



141. Insulation - missing

INSULATION AND VENTILATION

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

INSULATION

PLUMBING

INTERIOR

REFERENCE

Description

Attic/roof insulation material: • [Glass fiber](#)

Attic/roof air/vapor barrier: • [Kraft paper](#)

Attic/roof ventilation: • [Roof vent](#) • [Gable vent](#)

Limitations

Attic inspection performed: • By entering attic, but access was limited

Roof space inspection performed: • By entering space, but access was limited

Roof ventilation system performance: • Not evaluated

Mechanical ventilation effectiveness: • Not verified

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Description

Water supply source: • Public

Service piping into building: • [Copper](#)

Supply piping in building: • [Copper](#)

Main water shut off valve at the: • South

Water flow and pressure: • 80 PSI

Water heater type: • [Conventional](#)

Water heater fuel/energy source: • [Gas](#)

Water heater manufacturer:

• Bradford White



142. Bradford White

Tank capacity: • [75 gallons](#)

Water heater approximate age: • 5 years

Waste and vent piping in building: • [Not visible](#)

Limitations

Items excluded from a building inspection: • Water quality • Isolating/relief valves & main shut-off valve • Concealed plumbing • Tub/sink overflows • Water treatment equipment • Water heater relief valves are not tested • The performance of floor drains or clothes washing machine drains

Environmental issues are outside the scope of a home inspection: • This includes issues such as asbestos.

Recommendations

FIXTURES AND FAUCETS \ Faucet

22. Condition: • [Loose](#)

Loose faucet noted.

Implication(s): Equipment failure

Location: First Floor Hallway Bathroom

Task: Repair or replace

Time: Immediate



143. Loose

FIXTURES AND FAUCETS \ Shower stall

23. Condition: • Cracked glass noted. Recommend repairs and/or replacement.

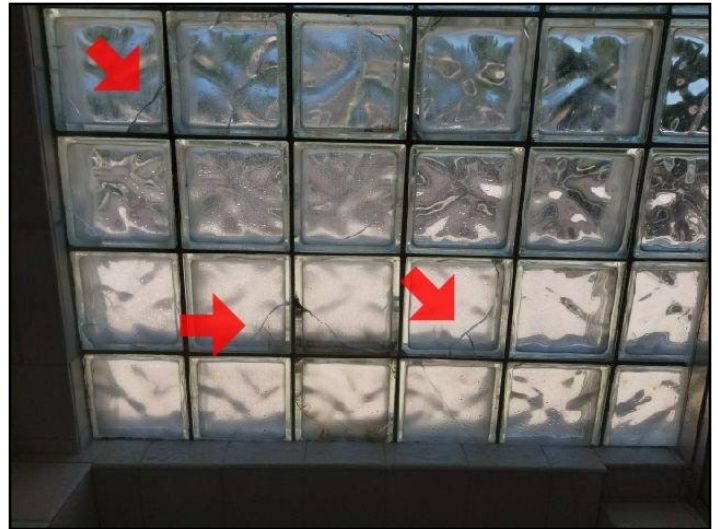
Location: Second Floor Master Bathroom

Task: Replace

Time: Immediate



144.



145.

24. Condition: • [Grout loose, missing or deteriorated](#)

Signs of missing caulking/grout noted. Suggest tub/shower edges, tiles be caulked and sealed to prevent moisture penetration. All missing, deteriorated/damaged caulking, grouting should be replaced, Failure to keep tub shower edges sealed can potentially cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of the inspection.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: Second Floor Hallway Bathroom

Task: Repair

Time: Immediate



146. Grout loose, missing or deteriorated



147. Grout loose, missing or deteriorated

25. Condition: • [Grout loose, missing or deteriorated](#)

Signs of missing caulking/grout noted. Suggest tub/shower edges, tiles be caulked and sealed to prevent moisture penetration. All missing, deteriorated/damaged caulking, grouting should be replaced, Failure to keep tub shower edges sealed can potentially cause deterioration and extensive moisture damage to the interior walls and surrounding sub-flooring. This damage is not always visible or accessible to the inspector at the time of the inspection.

Implication(s): Chance of water damage to contents, finishes and/or structure

Location: First Floor Hallway Bathroom

Task: Repair

Time: Immediate



148. Grout loose, missing or deteriorated

POOL / SPA / HOT TUB \ General

26. Condition: • Surrounding deck/concrete cracked

Cracks were noted to concrete pool deck. Recommend sealing cracks to prevent from further expansion. If requested, a licensed specialist may be recommended to further evaluate.

Implication(s): Material deterioration | Equipment not operating properly | Physical injury

Location: Pool / Spa

Task: Further evaluation

Time: Immediate



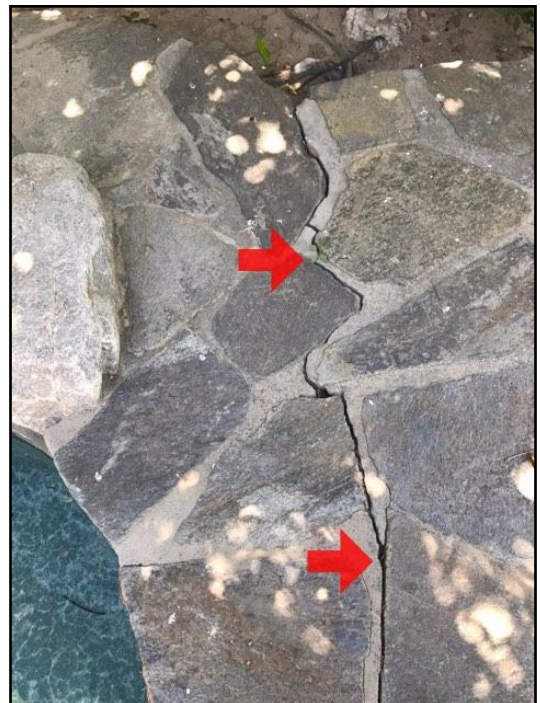
149. Surrounding deck/concrete cracked



150. Surrounding deck/concrete cracked



151. Surrounding deck/concrete cracked



152. Surrounding deck/concrete cracked

POOL / SPA / HOT TUB \ Mechanical

27. **Condition:** • Pump leaking

Leak noted at pool pump. A licensed pool specialist is recommended to further evaluate.

Implication(s): Reduced operability

Location: Pool / Spa

Task: Repair

Time: Immediate



153. Pump leaking



154. Pump leaking

Description

Windows: • [Casement](#)

Glazing: • [Single](#)

Kitchen ventilation: • Exhaust fan

Bathroom ventilation: • Window

Bathroom ventilation: • Exhaust fan • Exhaust fan

Limitations

Inspection limited/prevented by:

• Storage/furnishings



155. Storage/furnishings



156. Storage/furnishings



157. Storage/furnishings



158. Storage/furnishings



159. Storage/furnishings



160. Storage/furnishings



161. Storage/furnishings

- Storage in closets and cabinets / cupboards



162. Storage/furnishings



163. Storage in closets/cupboards

Not included as part of a building inspection: • Central vacuum systems • Cosmetic issues • Appliances • Perimeter drainage tile around foundation, if any

Cosmetics: • No comment offered on cosmetic finishes

Environmental issues are outside the scope of a home inspection : • This includes issues such as asbestos.

Recommendations

CEILINGS \ General

28. Condition: • Stains

Signs of water/moisture stains were noted to ceiling. Recommend monitoring. A licensed specialist may be recommended to further evaluate.

Location: Second Floor Bedroom

Task: Further evaluation, Seller disclose

Time: Immediate



164. Stains

29. Condition: • Water stains

Ceiling was observed and evidence of deterioration/bubbling surface was noted. A licensed specialist may be recommended to further evaluate.

Location: Second Floor Bedroom

Task: Further evaluation, Seller disclose

Time: Immediate



165. Water stains



166. Water stains



167. Water stains

30. Condition: • Water stains

Signs of water stains, deterioration was noted. Recommend further evaluation by a licensed specialist. Recommend seller disclose.

Location: Second Floor Staircase, Living room

Task: Further evaluation

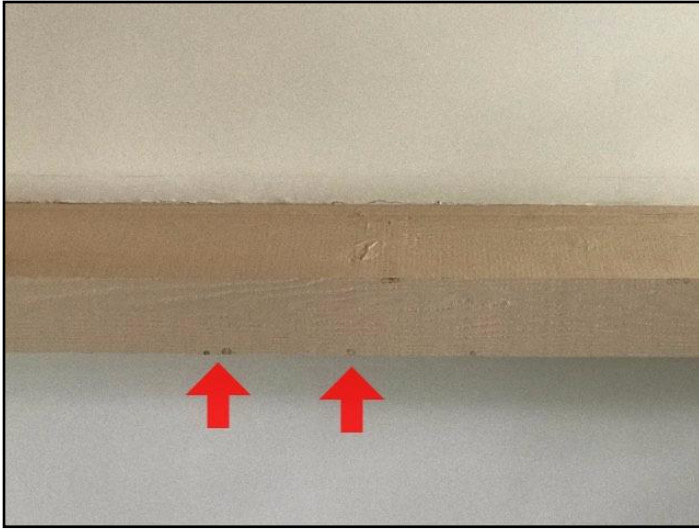
Time: Immediate



168. Water stains



169. Water stains



170. Water stains



171. Water stains

31. Condition: • Water stains

Signs of water stains was noted to ceiling. Master bathroom at 2nd floor is above the area where the moisture stains were noted. Recommend further evaluation by a licensed specialist. Recommend seller disclose.

Location: Garage

Task: Monitor Request disclosure

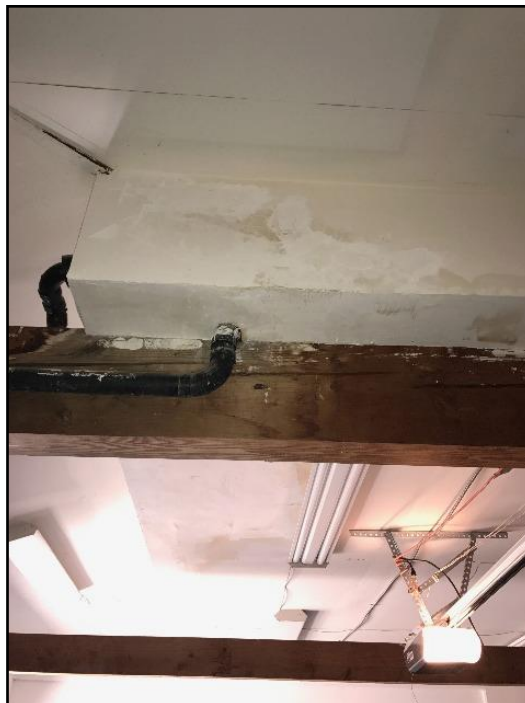
Time: Immediate



172. Water stains



173. Water stains



174. Water stains

FLOORS \ Ceramic tile, stone, marble, etc

32. Condition: • [Tiles cracked](#)

Cracked tiles noted

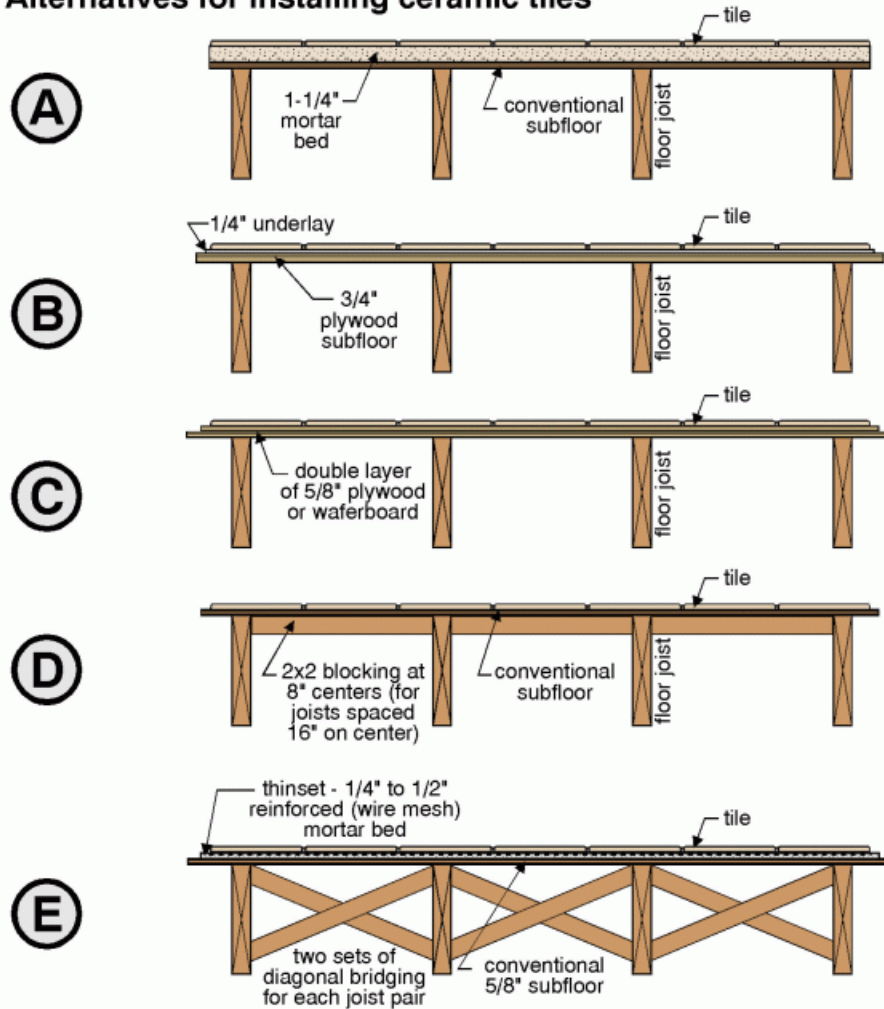
Implication(s): Trip or fall hazard

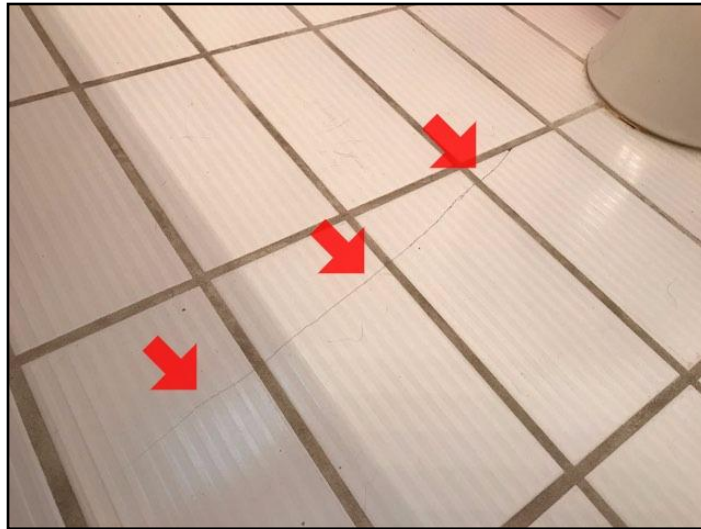
Location: Second Floor Hallway Bathroom

Task: Repair or replace

Time: Immediate

Alternatives for installing ceramic tiles





175. Tiles cracked

WINDOWS \ General

33. Condition: • Difficult to operate

Difficult to operate. Hard operation was noted to window. Recommend repairs for ease of operation.

Implication(s): System inoperative or difficult to operate

Location: Various First Floor Kitchen

Task: Improve, Correct

Time: Immediate



176. Difficult to operate

WINDOWS \ Frames

34. Condition: • Gaps noted. Recommended sealing and/or caulking.

Location: First Floor Living Room

Task: Correct

Time: Immediate



177.



178.

WINDOWS \ Hardware

35. Condition: • Inoperative

Inoperable windows noted. Recommend repairs for ease of operation.

Implication(s): System inoperative or difficult to operate

Location: First Floor Living Room

Task: Repair or replace

Time: Immediate



179. Inoperative

36. Condition: • [Inoperative](#)

Inoperable windows noted. Recommend repairs for ease of operation.

Implication(s): System inoperative or difficult to operate

Location: Bedrooms

Task: Repair, Further evaluation

Time: Immediate



180. Inoperative



181. Inoperative



182. Inoperative



183. Inoperative

DOORS \ Doors and frames

37. Condition: • Does not latch properly

Door locking mechanism was not fully functional. Locking mechanism does not latch. Recommend repairs.

Implication(s): System inoperative or difficult to operate

Location: Second Floor Hallway Bathroom

Task: Repair

Time: Immediate



184. Does not latch properly

CARPENTRY \ Countertops

38. Condition: • [Grout loose or missing](#)

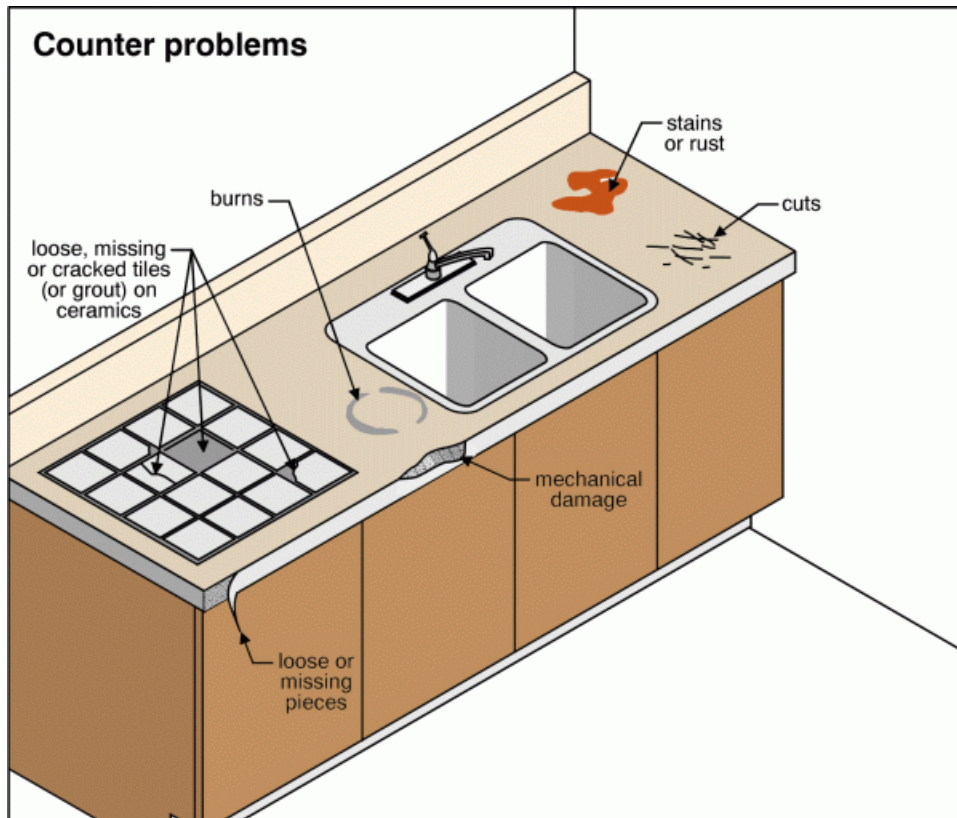
Missing grout noted. Recommend repairs to prevent deterioration to cabinet or walls from water moisture intrusion.

Implication(s): Hygiene issue

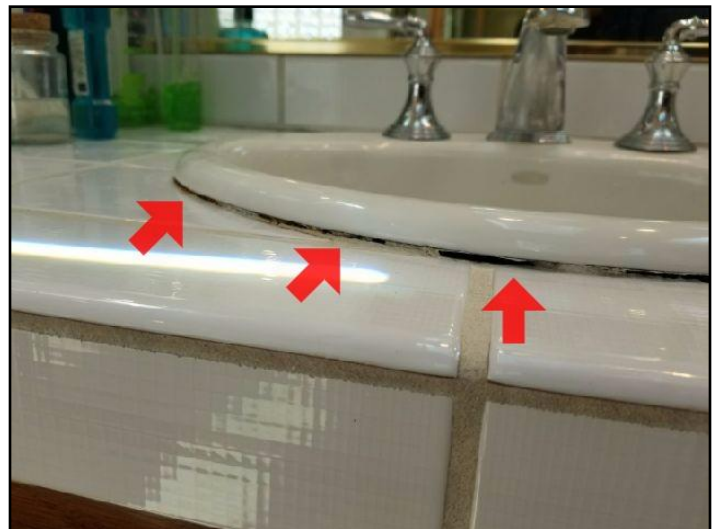
Location: Second Floor Master Bathroom

Task: Provide

Time: Immediate



185. Grout loose or missing



186. Grout loose or missing

EXHAUST FANS \ General

39. Condition: • [Inoperative](#)

Non functional exhaust fan noted.

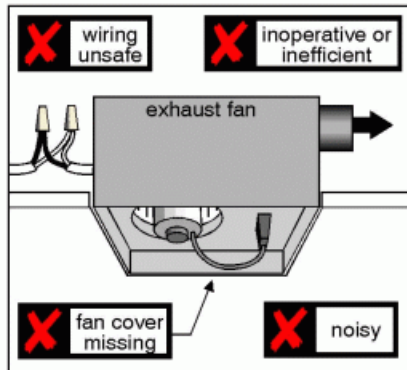
Implication(s): Chance of condensation damage to finishes and/or structure

Location: First Floor Hallway Bathroom

Task: Repair or replace

Time: Immediate

Exhaust fan conditions



187. Inoperative

GARAGE \ Door between garage and living space

40. Condition: • [No self closer](#)

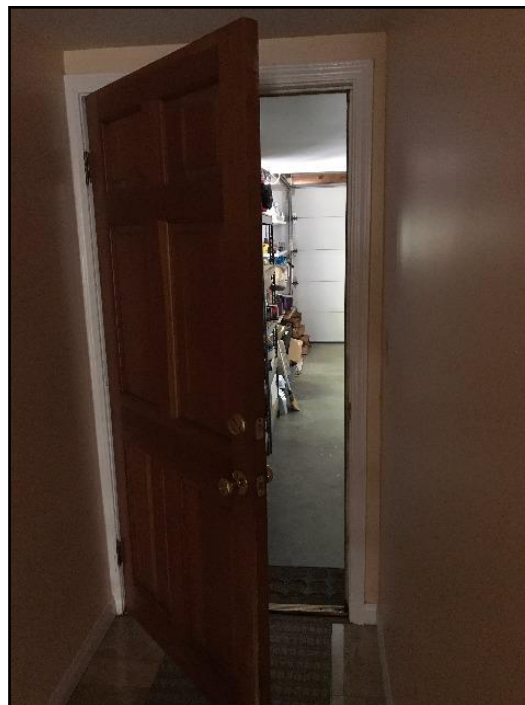
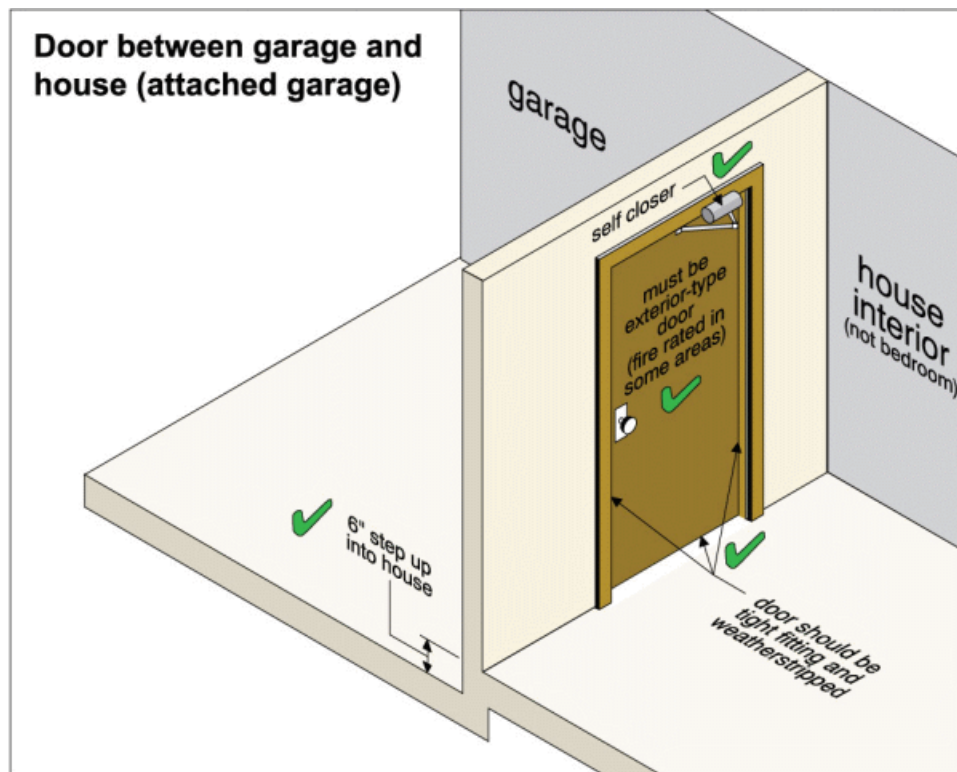
Garage door between garage and kitchen was not auto closing. Recommend repairs.

Implication(s): Hazardous combustion products entering home

Location: Garage

Task: Provide

Time: Immediate



188. No self closer

GARAGE \ Vehicle door operators

41. Condition: • Sensors inoperative

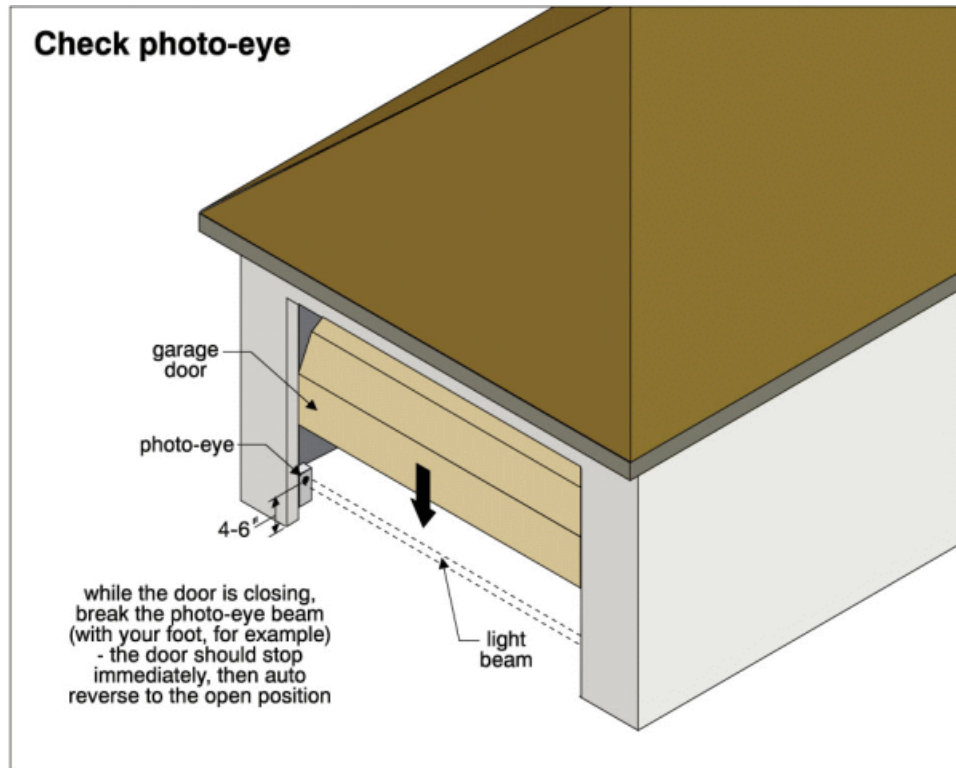
No garage door sensors were present. This is considered a safety hazard and requires installation of sensors.

Implication(s): Physical injury

Location: Garage

Task: Provide

Time: Immediate



INTERIOR

., Chatsworth, CA June 9, 2017

Report No. 1117, v.2

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SUMMARY

ROOFING

EXTERIOR

STRUCTURE

ELECTRICAL

HEATING

COOLING

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INTERIOR

REFERENCE



189. Sensors inoperative



190. Sensors inoperative

END OF REPORT

The links below connect you to a series of documents that will help you understand your home and how it works. These are in addition to links attached to specific items in the report.

Click on any link to read about that system.

» 01. ROOFING, FLASHINGS AND CHIMNEYS

» 02. EXTERIOR

» 03. STRUCTURE

» 04. ELECTRICAL

» 05. HEATING

» 06. COOLING/HEAT PUMPS

» 07. INSULATION

» 08. PLUMBING

» 09. INTERIOR

» 10. APPLIANCES

» 11. LIFE CYCLES AND COSTS

» 12. SUPPLEMENTARY

Asbestos

Radon

Urea Formaldehyde Foam Insulation (UFFI)

Lead

Carbon Monoxide

Mold

Household Pests

Termites and Carpenter Ants

» 13. HOME SET-UP AND MAINTENANCE

» 14. MORE ABOUT HOME INSPECTIONS